



# CITY OF SIMI VALLEY

## DEPARTMENT OF ENVIRONMENTAL SERVICES ADMINISTRATIVE STAFF REPORT

**CASE NO.:** CUP-S-2024-0008

**DATE:** September 26, 2024

**STAFF CONTACT:** Alexandra Clingman, Associate Planner  
(805) 583-6772

**REQUEST:** To construct a 1,970 square foot, detached, 24-foot 11-inch tall oversized garage

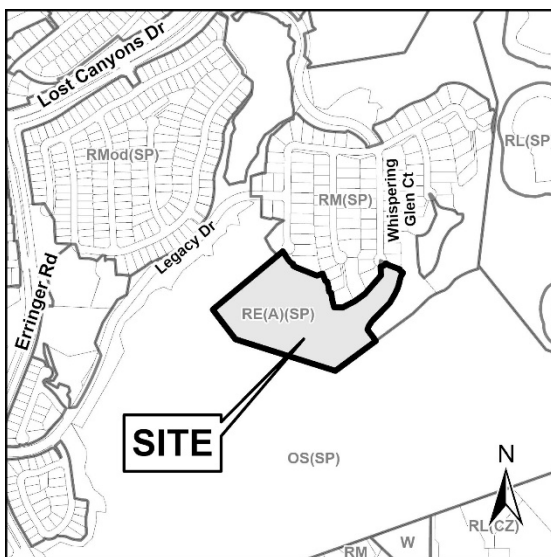
**RECOMMENDATION:** Approve the Certificate of Approval, subject to the attached conditions

**APPLICANT:** Adam Rasmussen                      Ron Gallagher  
28548 Livingston Ave                      28548 Livingston Ave  
Valencia CA, 91355                      Valencia CA, 91355  
(661) 367-9040                      (895) 744-9105

**GENERAL PLAN:** Residential Estate

**ZONING:** Residential Estate, Animal Overlay, Whiteface Specific Plan [RE(A)(SP)]

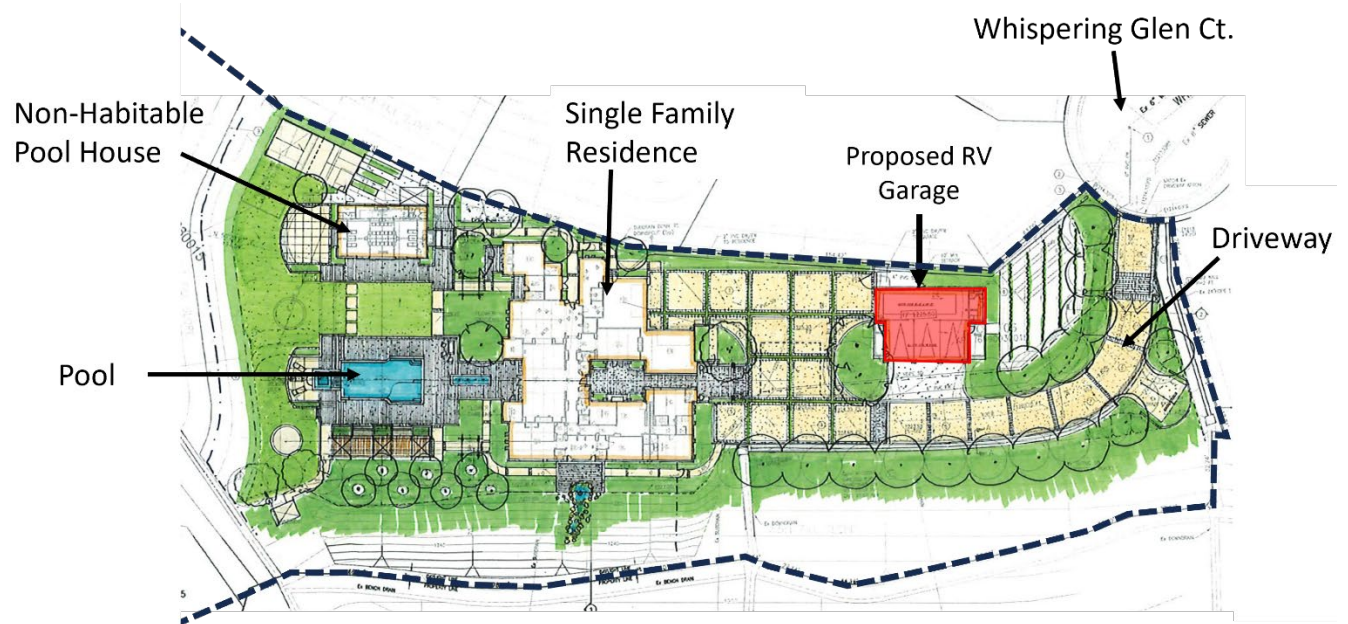
**LOCATION:** 3308 Whispering Glen Court



**PROJECT DESCRIPTION**

The Applicant and property owner, Adam Rasmussen, requests approval for an Administrative Conditional Use Permit (CUP-S-2024-0008) to construct a detached, oversized garage on a 13.9 acre site located at 3308 Whispering Glen Court (refer to Figure 1). The proposed garage is 1,972 square feet in size, consisting of a 1,742 square foot parking area suitable for recreational vehicles, a 654 square foot attic space, and 229 square feet of attached porches. The structure will be located at the northwest corner of the property and is setback a minimum of 10 feet from the northern side property line.

**Figure 1- Site Plan**



Pursuant to SVMC §9-24.050.D, a Conditional Use Permit is required to exceed the eighteen (18) foot height limit established in Chapter 24, Table 2-3 for accessory structures. The maximum height of any accessory structure may not exceed the maximum height permitted for a primary structure. The garage will be 24 feet 11 inches in height, with non-operable windows located beyond the first 16 feet of the wall plane (refer to Figure 2). The structure will include decorative lighting designed to cast downward to minimize glare on adjacent properties. An internal staircase will provide access to the attic space. The attic space will be used for storage and include a half bathroom. Under the 2022 California Residential Building Code, a habitable space is defined as any area within a building used for living, sleeping, eating, or cooking. Spaces such as bathrooms, toilet rooms, closets, halls, storage areas, and utility spaces do not qualify as habitable spaces. Therefore, the garage is considered a non-habitable structure.

The design of the detached oversized garage will include white, board and batten trim, eaves, and garage doors, with a gray standing seam metal roof. The base of the garage will be detailed with a natural gray stone veneer (refer to Figure 2). This design is consistent with the recently approved single-family home and pool house under construction at the property.

**Figure 2- Color and Material Rendering**



The Public Notice was published and mailed to surrounding property owners not less than ten days prior to the public hearing. This is in accordance with Simi Valley Municipal Code (SVMC) §9-74.020.

**ISSUES**

There are no outstanding issues.

**ANALYSIS**

The project is consistent with the following findings required to grant an Administrative Conditional Use Permit in SVMC §9-52.070.G and to allow the height to exceed the eighteen (18) foot height limit Pursuant to SVMC §9-24.050.D:

1. The proposed use is allowed with an Administrative Conditional Use Permit within the applicable zoning district as identified in SVMC § 9-52.070.E and complies with all applicable provisions of the Development Code, in that the property is zoned Residential Estate, with an Animal Overlay, and within the Whiteface Specific Plan [RE(A)(SP)], which requires a Conditional Use Permit is required to exceed the 18-foot height limit for accessory structures up to a maximum of 30-feet in the RE(A)(SP) zone. The proposed garage height of 24 feet 11 inches in height, is within the allowable limit for primary structures in this zone.

Additionally, the proposed garage is 1,972.76 square feet in size and is located on a residential estate lot approved under Planned Development



Permit (PD-S-0915). Therefore, this project qualifies for an Administrative Conditional Use Permit. The project also complies with the required SVMC Development Standards outlined below:

Table A  
 Accessory Structure Development Standards

<b>Standard</b>	<b>Required</b>	<b>Provided</b>
Setbacks	Front: 20 feet Side (west): 5 feet Side (east): 5 feet Rear: 10 feet	Front: 63 feet Side (west): 10 feet Side (east): 95+ feet Rear: 300+ feet
Height Limit (SVMC §9-24.050)	18 feet with a Zoning Clearance or 30 feet with a Conditional Use Permit	24 feet and 11 inches
Size Limit (SVMC §9-44.220.B)	2,000 square feet, with a Zoning Clearance	1,972.76 sq. ft.

2. The proposed development or use is consistent with the General Plan and any applicable Specific Plan, in that:

The project is consistent with the following General Plan Policies:

- a. LU 13.3- *“Recreational Vehicles. Encourage adequate on-site storage areas for recreational vehicles in residential developments in relation to the need generated by each project.”* The proposed garage would allow for the on-site storage of multiple recreational vehicles within the garage at a residentially developed site. It may be expected that a single-family dwelling of this size may have additional vehicles than could be stored in a standard two-car garage. Therefore, the garage complies with this policy.
- b. LU5.7- *“Residential Privacy. Respect the privacy of existing residents in the design of new development that abuts existing residential neighborhoods.”* The proposed detached garage is setback from the northwest property line by a minimum of 10 feet and is screened by a 6-foot tall fence. Windows located on the west elevation are non-operable and respect the privacy of the existing residents to the west; therefore, the project complies with this policy.

The project is consistent with the following Specific Plan Policies:

- a. Goal C. 5 *“Provide estate and custom home sites in Sand, Dry and Tapo Canyons which will be served by public and private streets and will preserve significant land forms while creating a rural residential setting.”* The proposed detached oversized garage will serve as an accessory structure to a recently approved custom home on an estate lot within the Whiteface Specific Plan. The garage will be accessed from a private

street (Whispering Glen Court) and preserves the surrounding natural hillsides as it is located on a previously graded pad, approved under the overall development (PD-S-0915), and therefore complies with this policy.

- b. Goal III-3 “*Preserve and protect the hillsides as an important visual and aesthetic resource.*” The proposed detached oversized garage will not impact the surrounding natural hillsides to the west, south, and east of the property as it will be located on a previously graded pad, approved under the overall development (PD-S-0915). Any changes to the location of the garage or any additional grading must be approved by the Environmental Services Director and Public Works Director. Therefore, the project complies with this policy.
3. The proposed site plan and design are consistent with applicable City adopted design guidelines, in that:
  - a. Residential Design Guidelines (RDG) Section 3.D states, “*Garage doors should have a finish color that matches the main building color or the dominant trim color.*” The proposed garage will have white, board and batten garage doors and trim to match the primary building's exterior color and finish and, therefore, complies with this design guideline.
  - b. Residential Design Guidelines (RDG) Section 3.D states, “*Accessory buildings are to remain subordinate to the main residential structure*”. In the Animal Overlay Zone, accessory structures are limited to 2,000 square feet with a Zoning Clearance to ensure accessory structures remain subordinate to the primary home (SVMC §9-44.220.B.4). The proposed detached oversized garage is 1,972.76 square feet, which complies with the SVMC and remains subordinate to the main residential structure, which is 6,625 square feet. Therefore, the project complies with this design guideline.
4. The design, location, operating characteristics, and size of the proposed use would be compatible with the existing and future land uses in the vicinity, in terms of aesthetics, character, scale, and view protection, in that, as described above, the design of the proposed garage complies with the residential design guidelines and is compatible with the design of the primary structure on the property; the garage will be used to store personal recreational vehicles on-site; and the 1,972.76 sq. ft. size of the structure complies with SVMC §9-24.220 which allows an accessory structure up to 2,000 sq. ft. with a Zoning Clearance.

The project is compatible with the existing and future land uses in the vicinity as it serves as an accessory structure to a recently approved custom home on an estate lot within the Whiteface Specific Plan. The surrounding uses consist of similar residential uses or natural hillsides; refer to Table B below. The project will preserve the surrounding natural hillsides as it is located on

a previously graded pad, approved under the overall development (PD-S-0915). Therefore, the design, location, operating characteristics, and size of the structure are compatible with the existing and future land uses in the vicinity in terms of aesthetics, character, scale, and view protection and, therefore, meet this finding.

**Table B**  
 Surrounding General Plan Designations, Zoning Districts, and Land Uses

	GENERAL PLAN	ZONING	EXISTING LAND USE
Project Site	Residential Estate	Residential Estate, Animal Overlay, Whiteface Specific Plan [RE(A)(SP)]	Vacant land with recently approved single family home and pool house under construction
North	Medium Density	Residential Medium Density, Whiteface Specific Plan [RM(SP)]	Single family home
East	Open Space	Residential Medium Density, Whiteface Specific Plan [RM(SP)]	Vacant land/ hillside
West	Open Space	Open Space, Whiteface Specific Plan [OS (SP)]	Vacant land/ hillside
South	Open Space	Open Space, Whiteface Specific Plan [OS (SP)]	Vacant land/ hillside

5. The proper standards and conditions have been imposed which protect the public safety, health, and welfare, in that the Applicant must obtain all required building permits from Building and Safety pursuant to the California Building Code (Condition \*A-8) and must fulfill Ventura County Fire Protection District’s conditions prior to occupancy (Conditions D-1 through D-5). Therefore, the proposed project will comply with public safety, health, and welfare regulations.

**ENVIRONMENTAL REVIEW AND CEQA REQUIREMENTS**

Section 15303 of the State CEQA Guidelines, titled “New Construction or Conversion of Small Structures,” reads as follows:

“Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Examples of this exemption include, but are not limited to:

- e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences.”

The project involves the construction of a new 1,972.76 square feet detached oversized garage on a 13.9-acre residential lot. Therefore, the project is exempt from CEQA pursuant to Section 15303 of the State CEQA Guidelines.

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STAFF PUBLIC HEARING PROCEDURE

HEARING DATE: September 26, 2024

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1. DEPUTY ENVIRONMENTAL SERVICES DIRECTOR/ CITY PLANNER:

**This is the time and place set for a staff public hearing on the consideration of CUP-S-2024-0008. It is currently 4:00 p.m. on September 26, 2024**

**Let the record show that due notice was given of this hearing as required by law. An affidavit to this effect is on file in the Environmental Services Department Offices.**

**The report of the City Staff relating to this matter shall be made a part of the record of this hearing.**

**Will Alexandra Clingman the case planner please provide an oral report on this matter.**
  2. CASE PLANNER: (Report)
  3. DEPUTY ENVIRONMENTAL SERVICES DIRECTOR/ CITY PLANNER:

**I will now open the public testimony portion of this hearing. Would the Applicant like to make a presentation or add any comments? [Please identify yourself for the record.]**
  4. APPLICANT: (Comments)
  5. DEPUTY ENVIRONMENTAL SERVICES DIRECTOR/ CITY PLANNER:

**Is there anyone in the audience wishing to be heard on this matter? If so, please identify yourself for the record and address your comments to the Hearing Officer.**
  6. AUDIENCE: (Comments)
  7. DEPUTY ENVIRONMENTAL SERVICES DIRECTOR/ CITY PLANNER:

**Would the applicant like to respond to any of the comments?**



8. DEPUTY ENVIRONMENTAL SERVICES DIRECTOR/CITY PLANNER:

**The public testimony portion of the hearing is now closed.**

9. DEPUTY ENVIRONMENTAL SERVICES DIRECTOR/CITY PLANNER:

If the Deputy Environmental Services Director/City Planner desires to approve the project, the following is requested:

**I approve CUP-S-2024-0008 based on the findings noted in the staff report.**

If the Deputy Environmental Services Director/City Planner desires to defer the matter to the Planning Commission, the following is requested:

**I defer the project to the Planning Commission for consideration.**

10. DEPUTY ENVIRONMENTAL SERVICES DIRECTOR/CITY PLANNER:

**If you challenge staff's decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing.**

**The appeal period is 14 calendar days.**

## **CERTIFICATE OF ADMINISTRATIVE APPROVAL**

A DECISION OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES/PLANNING DIVISION OF THE CITY OF SIMI VALLEY, APPROVING ADMINISTRATIVE CONDITIONAL USE PERMIT (CUP-S-2024-0008) TO CONSTRUCT A 24-FOOT 11-INCH TALL, DETACHED OVERSIZED GARAGE; AND A DETERMINATION THAT THE PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

WHEREAS, pursuant to the provisions of Chapter 9-52 et seq. of the Simi Valley Municipal Code, the Applicant, Adam Rasmussen, has requested approval of Administrative Conditional Use Permit (CUP-S-2024-0008) for the certain site located at 3308 Whispering Glen Court, known as Ventura County Assessor's Parcel No. 619-0-030-015, for the purpose of constructing a 24-foot 11-inch, detached oversized garage; and

WHEREAS, pursuant to the provisions of Section 15303 of the California Environmental Quality Act, the project qualifies as Categorically Exempt and a Notice of Exemption was prepared.

NOW, THEREFORE, THE ENVIRONMENTAL SERVICES DIRECTOR OF THE CITY OF SIMI VALLEY OR DESIGNEE AUTHORIZES THE FOLLOWING:

SECTION 1. The findings, for approval, for Administrative Conditional Use Permit (CUP-S-2024-0008) contained in the staff report dated September 26, 2024, and incorporated herein by reference are hereby adopted.

SECTION 2. The Administrative Conditional Use Permit (CUP-S-2024-0008) is hereby approved, subject to compliance with all the conditions, attached hereto as Exhibit A. Violation of any such condition will be grounds for revocation of the permit, as well as any other remedy which is available to the City.

SECTION 3. This approval does not constitute a vested entitlement or vesting of rights to construct any of the land uses or improvements described in the Administrative Conditional Use Permit (CUP-S-2024-0008). No existing provisions of state law, or provisions of state law as may hereafter be adopted, amended or judicially interpreted, will be construed as authorizing this approval to constitute a vested entitlement or vesting of rights to construct. Approval of the project will in no way impair the power or the right of the City Council to initiate a general plan amendment, specific plan amendment, zone change or other action to consider alternative land use designations and zoning for the subject property prior to the issuance of building permits and the construction of substantial improvements in good faith reliance thereon, or prior to the vesting of rights to the extent provided by Government Code Section 66498.1 et seq. or by the express terms of a development agreement adopted pursuant to Government Code Section 65865 et seq.

SECTION 4. The time within which judicial review must be sought for administrative decisions is governed by California Code of Civil Procedure Section 1094.6.

PASSED and ADOPTED this 26th day of September 2024.

**Attest:**

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Megan Grai  
Recording Secretary

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Sean Gibson, Deputy Environmental  
Services Director/City Planner

**CASE NO.:** CUP-S-2024-0008  
**APPLICANT:** ADAM RASMUSSEN

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### **PROJECT PERMIT CONDITIONS**

The conditions marked with an asterisk (\*) are Special Conditions applicable specifically to this permit. In the event of a conflict between a Standard Condition and a Special Condition, the Special Condition will take precedence. These conditions of approval will supersede any conflicting notations, specifications, dimensions, and typical sections that may be shown on a development plan or exhibit. Applicant (Permittee) will assume all costs incurred in complying with the conditions contained herein. "Permittee" or "Applicant" or "Developer" or "Owner" as used in these conditions means all Applicants, developers, permittees, and all owners of the subject property and all successor and assigns thereto. These conditions are deemed to touch and concern the real property, which is the subject hereof, and will run with the land. Compliance with these conditions must be maintained for the life of the permit. Applicant must comply with all of the conditions.

### **GENERAL CONDITIONS**

- GC1. The effectiveness of this project will be suspended for the time period that any Condition of Approval is appealed whether administratively or as part of a legal action filed in a court of competent jurisdiction. If any Condition of Approval is invalidated by a court of law, the project must be reviewed by the City and substitute conditions may be imposed.
- GC2. Permittee is responsible for ascertaining and paying all City fees as required by the Simi Valley Municipal Code ("SVMC"). This condition serves as notice, pursuant to Government Code § 66020(d) that the City is imposing development impact fees (DIFs) upon the project in accordance with the Mitigation Fee Act (Government Code § 66000, et seq.) and the SVMC. The permittee is informed that it may protest DIFs in accordance with Government Code § 66020.
- GC3. Permittee must sign these Conditions of Approval, as set forth below, to acknowledge acceptance, within 30 days from the date of approval by the Planning Commission.
- GC4. The Environmental Services Director, Public Works Director, or designees will only issue permits for the development when the construction documents (e.g., building plans) substantially comply with the approved plans. Substantial conformity is determined by the issuing Director.
- GC5. This decision is not effective until Permittee acknowledges acceptance of all project conditions and any appeal period has lapsed, or a waiver of right to appeal is filed or if there is an appeal, until a final decision has been made on the appeal. By use of the entitlements granted by a development application, the Permittee acknowledges agreement with the Conditions of Approval.

A. ENVIRONMENTAL SERVICES CONDITIONS:

Planning Division:

- A-1 This permit is granted for all of the buildings, roadways, parking areas, landscaping, lighting, colors and materials, and other features which must be as shown on the formal application and exhibits specifically labeled as Exhibit(s) Site Plan, Floor Plans 1-4, Elevations 1-2, and Exterior Colors and Materials dated August 15, 2024. Compliance with these conditions is required for all permits and final inspections associated with this permit. Unless otherwise specified in these conditions, upon final inspection of each home, all additions, landscaping, color, material, and lighting changes to individual properties must be in conformance with the SVMC. All parcels held in common, and all perimeter fences and walls adjacent to a public right-of-way, must comply with the approved exhibits for the life of the project. Enforcement of any CC&Rs associated with architectural review is the sole responsibility of the Home Owners Association.
- A-2 The approval of this project expires if the approved use is not commenced within three years from the date of this approval, unless it is extended in accordance with the Simi Valley Municipal Code (“SVMC”).
- A-3 Permittee and its successors in interest must indemnify, protect, defend (with legal counsel reasonably acceptable to the City), and hold harmless, the City, its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including reasonable attorney’s fees and disbursements (collectively “Claims”) arising out of or in any way relating to this project, any discretionary approvals granted by the City related to the development of the project or the environmental review conducted under the California Environmental Quality Act, Public Resources Code § 21000, et seq., for the project. If the City Attorney is required to enforce any conditions of approval, all costs, including attorney’s fees, must be paid for by the Permittee in accordance with the SVMC.
- A-4 Anything which is not shown on the application/plans, or which is not specifically approved, or which is not in compliance with this CUP, is not approved. Any application and/or plans which are defective as to, without limitation, omission, dimensions, scale, use, colors, materials, encroachments, easements, renders any entitlement null and void.
- A-5 During the lifetime of the permit, Permittee must comply with all applicable laws and regulations of every local, state, and federal entity; and all such requirements and enactments are incorporated by reference as conditions of this permit. The duty to determine which laws and regulations apply to the Permittee is the burden of the Permittee, its assignees or successors in interest.

**CASE NO.:** CUP-S-2024-0008  
**APPLICANT:** ADAM RASMUSSEN

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- A-6 Permittee agrees that if any of the conditions or limitations of this permit are held to be invalid by a court of competent jurisdiction, that holding will render this permit to be null and void.
- A-7 Permittee must provide to the Deputy Environmental Services Director/City Planner a copy of all conditions of approval recorded with the Ventura County Recorder's Office.
- A-8 In the event of the encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading or excavation must cease in the immediate area, and the find left untouched. Applicant must select and provide a qualified professional archaeologist certified by the Register of Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology to evaluate and make recommendations as to disposition, mitigation and/or salvage. The recommendation must be implemented before work may proceed. Applicant will be liable for all costs associated with the professional investigation and implementation.
- \*A-9 Permittee must obtain all required building permits from Building and Safety pursuant to the California Building Code.
- \*A-10 Permittee must not operate a home occupation from the garage or utilize the garage in conjunction with a home occupation.

**D. VENTURA COUNTY FIRE PROTECTION DISTRICT:**

- D-1 All structures must comply with hazardous fire area building code requirements pursuant to the California Building Code.
- D-2 All grass and brush must be cleared to a distance of 10-feet on each side of all access driveways.
- D-3 All grass or brush exposing any structure(s) to fire hazards must be cleared for a distance of 100-feet prior to construction of any structure and must be maintained in accordance with the VCFPD Ordinance.
- D-4 Permittee must submit a VCFD Form #610, Fire Permit Application, prior to obtaining a building permit for any new structures.
- D-5 All structures must be provided with an automatic fire sprinkler system in accordance with California Building Code and California Fire Code requirements, and current Ventura County Fire Ordinance at time of building permit application.

END OF ALL CONDITIONS



**CASE NO.:** CUP-S-2024-0008  
**APPLICANT:** ADAM RASMUSSEN

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**AFFIDAVIT**

I, \_\_\_\_\_, do hereby declare under penalty of perjury that I have Power of attorney on behalf of all property owners of the subject application and that all property owners accept all conditions imposed by the Environmental Services Director or designee in its approval of CUP-S-2024-0008. Permittee and property owners agree to comply with these conditions and all other applicable laws and regulations that affect this project.

Signature \_\_\_\_\_

\_\_\_\_\_ Date

Printed Name \_\_\_\_\_

NOTICE OF EXEMPTION

To: County Clerk  
County of Ventura  
800 S. Victoria Avenue  
Ventura, CA 93001

From: City of Simi Valley  
2929 Tapo Canyon Road  
Simi Valley, CA 93063

Project Title: CUP-S-2024-0008

Project Location - Specific: 3308 Whispering Glen Court

Project Location - City: Simi Valley Project Location - County: Ventura

Description of Nature, Purpose, and Beneficiaries of Project: \_\_\_\_\_  
Construction of a detached, 24-foot 11-inch tall oversized garage

Name of Public Agency Approving Project: City of Simi Valley September 26, 2024  
Date of Approval

Name of Person or Agency Carrying Out Project: Adam Rasmussen, Applicant

Exempt Status: (check one)

- Ministerial [Sec. 21080(b)(1); 15268];
- Declared Emergency [Sec. 21080(b)(3); 15269(a)];
- Emergency Project [Sec. 21080(b)(4); 15269(b)(c)];
- Categorical Exemption. State type and section number Class 3, Section 15303
- Statutory Exemption. State code number \_\_\_\_\_
- Common Sense Exemption [Sec. 15061(b)(3)]

Text of exemption and reasons why project is exempt:

Section 15303 of the State CEQA Guidelines, titled "New Construction or Conversion of Small Structures," reads as follows:


"Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Examples of this exemption include, but are not limited to:

- e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences."

The project involves the construction of a new 1,972.76 sq. ft detached garage on a 13.9-acre residential lot. Therefore, the project is exempt from CEQA pursuant to Section 15303 of the State CEQA Guidelines.

**Lead Agency**

**Contact Person:** Alexandra Clingman **Area Code/Telephone:** (805) 583-6772

**Signature:**  **Date:** September 26, 2024 **Title:** Associate Planner  
Alexandra Clingman

**Signed by Lead Agency**

**Signed by Applicant**

**Date received for filing at OPR:** \_\_\_\_\_

EXHIBIT 1

REDUCED EXHIBITS

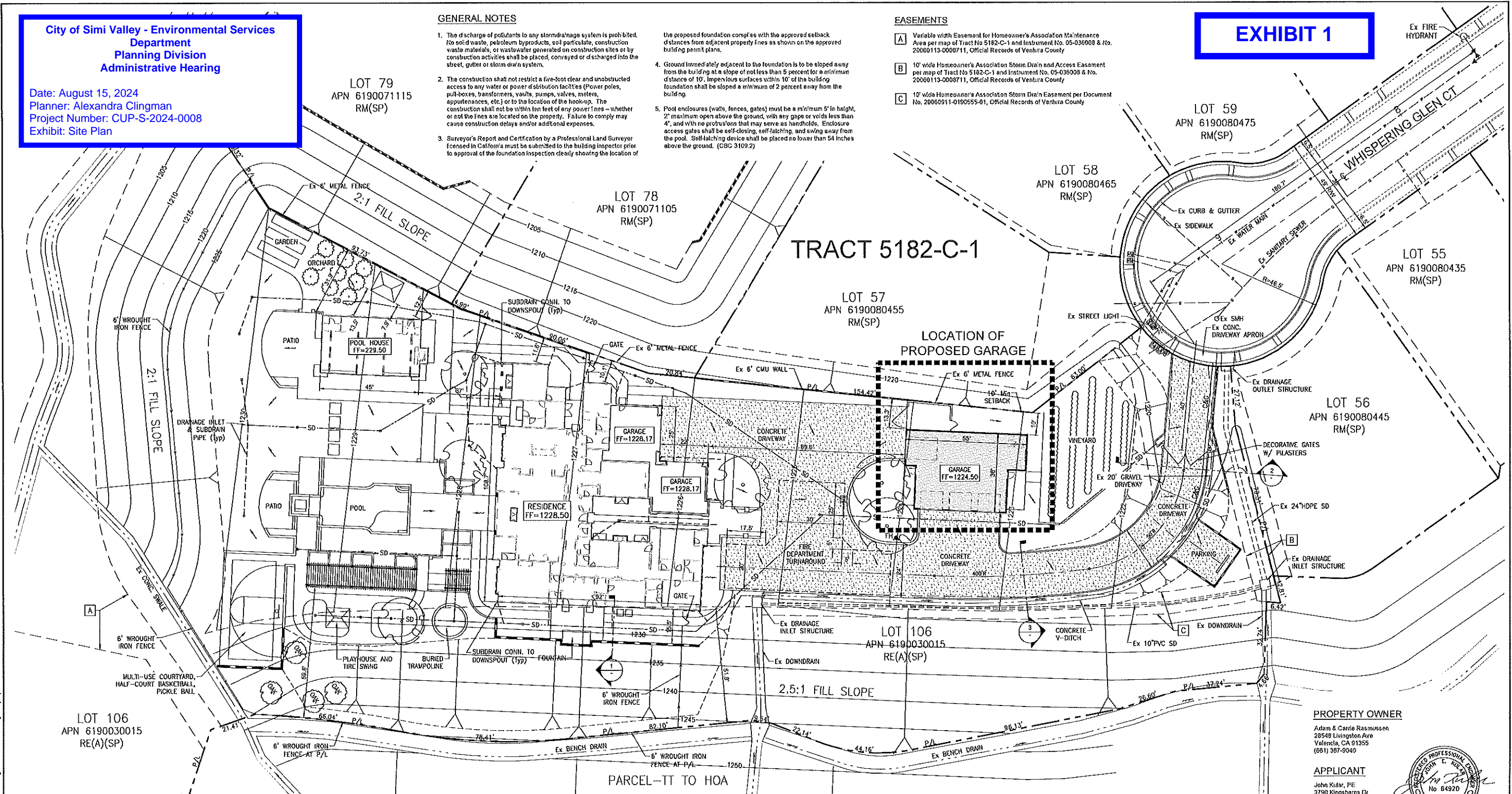
Date: August 15, 2024  
 Planner: Alexandra Clingman  
 Project Number: CUP-S-2024-0008  
 Exhibit: Site Plan

GENERAL NOTES

- The discharge of pollutants to any storm/drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines - whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Surveyor's Report and Certification by a Professional Land Surveyor Licensed in California must be submitted to the building inspector prior to approval of the foundation inspection clearly showing the location of the proposed foundation complies with the approved setback distances from adjacent property lines as shown on the approved building permit plans.
- Ground immediately adjacent to the foundation is to be sloped away from the building at a slope of not less than 5 percent for a minimum distance of 10'. Impervious surfaces within 10' of the building foundation shall be sloped a minimum of 2 percent away from the building.
- Pool enclosures (walls, fences, gates) must be a minimum 6' in height, 2' maximum open above the ground, with any gaps or voids less than 4", and with no protrusions that may serve as handholds. Enclosure access gates shall be self-closing, self-latching, and swing away from the pool. Self-latching device shall be placed no lower than 54 inches above the ground. (CBC 3109.2)

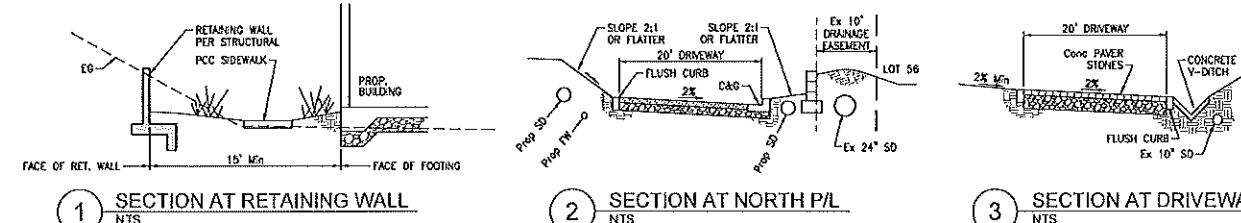
EASEMENTS

- A Variable width Easement for Homeowner's Association Maintenance Area per map of Tract No 5182-C-1 and Instrument No. 05-036008 & No. 20060113-0008711, Official Records of Ventura County
- B 10' wide Homeowner's Association Storm Drain and Access Easement per map of Tract No 5182-C-1 and Instrument No. 05-036008 & No. 20060113-0008711, Official Records of Ventura County
- C 10' wide Homeowner's Association Storm Drain Easement per Document No. 20060911-0190555-01, Official Records of Ventura County



STATEMENT OF ACKNOWLEDGEMENT OF EASEMENT IDENTIFICATION:  
 AS THE PREPARER OF THE PLANS, I HAVE DISCLOSED AND IDENTIFIED THE LOCATION OF ALL EASEMENTS, WHICH ARE PERTINENT ON THESE PLANS. I HAVE REVIEWED THE PROPOSED EASEMENT DOCUMENTS AND VERIFIED THE PROPOSED CONSTRUCTION DOES NOT CONFLICT OR INTERFERE WITH THE INTENDED EASEMENT USE.

*John Kular*  
 PREPARER OF THE PLANS  
 DATE: 8/02/2024



LEGEND

- CONCRETE PAVEMENT
- RETAINING WALL
- EX STORM DRAIN PIPE

NOTE:  
 GARAGE ONLY.  
 ALL OTHER STRUCTURES UNDER SEPARATE PERMIT.

SCALE: 1"=20' 40'

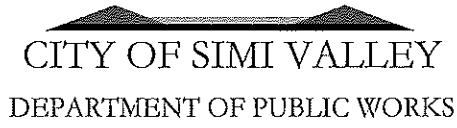
PROPERTY OWNER  
 Adam & Carrie Rasmussen  
 2854B Livingston Ave  
 Valencia, CA 91355  
 (651) 387-9040

APPLICANT  
 John Kular, PE  
 3790 Kingsbarns Dr  
 Roseville, CA 95747  
 (861) 302-1292

SITE INFORMATION  
 ADDRESS:  
 3308 Whispering Glen Ct  
 Simi Valley CA 93065  
 PARCEL:  
 APN: 6190030015  
 ZONING: RE(A)(SP)  
 GROSS LOT AREA: 10,771 SF (13,904 AC)  
 EX. BUILDING COVERAGE: N/A  
 PROP. BUILDING COVERAGE: 10,771 SF  
 LOT COVERAGE: 1.78%

8/02/2024

CITY OF SIMI VALLEY - DEVELOPMENT ENGINEERING DIVISION				PREPARED BY: John Kular Consulting 3790 Kingsbarns Dr, Roseville, CA 95747 651-302-1292 jkular@consult.com		SITE PLAN		SHEET NUMBER 1 OF 1		DRAWING NUMBER (CITY OF SIMI VALLEY) 2/11	
ISSUED FOR REVIEW	TM	JK	8/02/24	APPROVED: DEPUTY DIRECTOR	DATE	REVIEWED BY: SENIOR ENGINEER	DATE	RASMUSSEN RESIDENCE 3308 WHISPERING GLEN CT APN 6190030015			



**EXHIBIT 1**



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ARCHITECT:

ENGINEERING:

CONTRACTOR:

PROJECT NAME:  
**RASMUSSEN GARAGE**  
 3308 WHISPERING GLEN CT SIMI VALLEY,  
 CALIFORNIA 93065

SHEET NAME:  
**1ST FLOOR DIMENSIONED  
 PLAN**

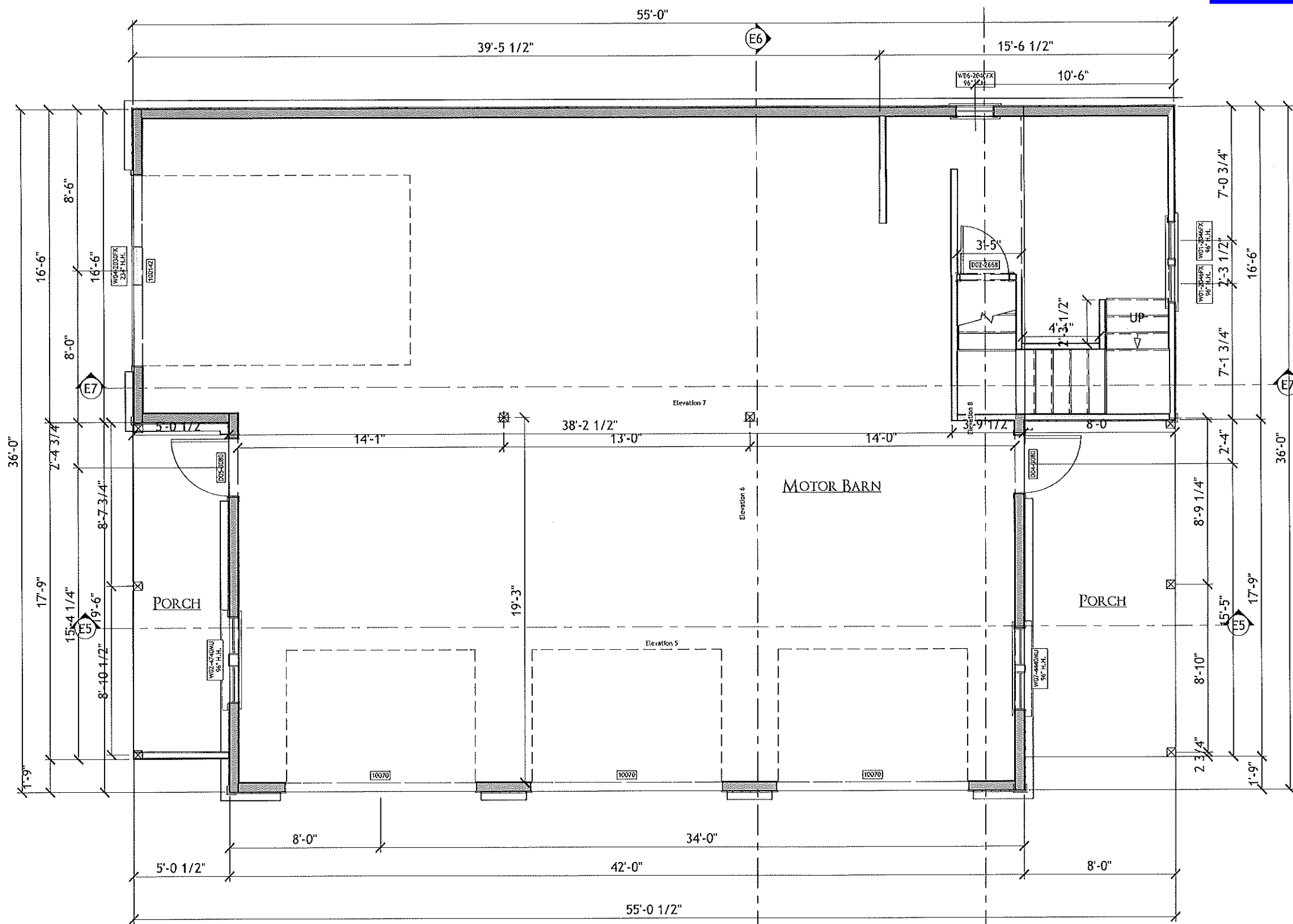
Revision Table			
Number	Date	Revised By	Description

PLAN FILE  
 22-061 Motor Barn

	DATE
3/11	8/2/2024

SHEET	SCALE
A-101	

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City of Simi Valley - Environmental Services Department  
 Planning Division  
 Administrative Hearing

Date: August 15, 2024  
 Planner: Alexandra Clingman  
 Project Number: CUP-S-2024-0008  
 Exhibit: Floor Plan 1 of 4

FLOOR PLAN A1  
 SCALE: 3/8"=1'-0" A-101



**EXHIBIT 1**

City of Simi Valley - Environmental Services  
 Department  
 Planning Division  
 Administrative Hearing

Date: August 15, 2024  
 Planner: Alexandra Clingman  
 Project Number: CUP-S-2024-0008  
 Exhibit: Floor Plan 2 of 4



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ENGINEERING:

CONTRACTOR:

PROJECT NAME:  
**RASMUSSEN GARAGE**  
 3308 WHISPERING GLEN CT SIMI VALLEY,  
 CALIFORNIA 93065

SHEET NAME:  
**ATTIC FLOOR  
 DIMENSIONED PLAN**

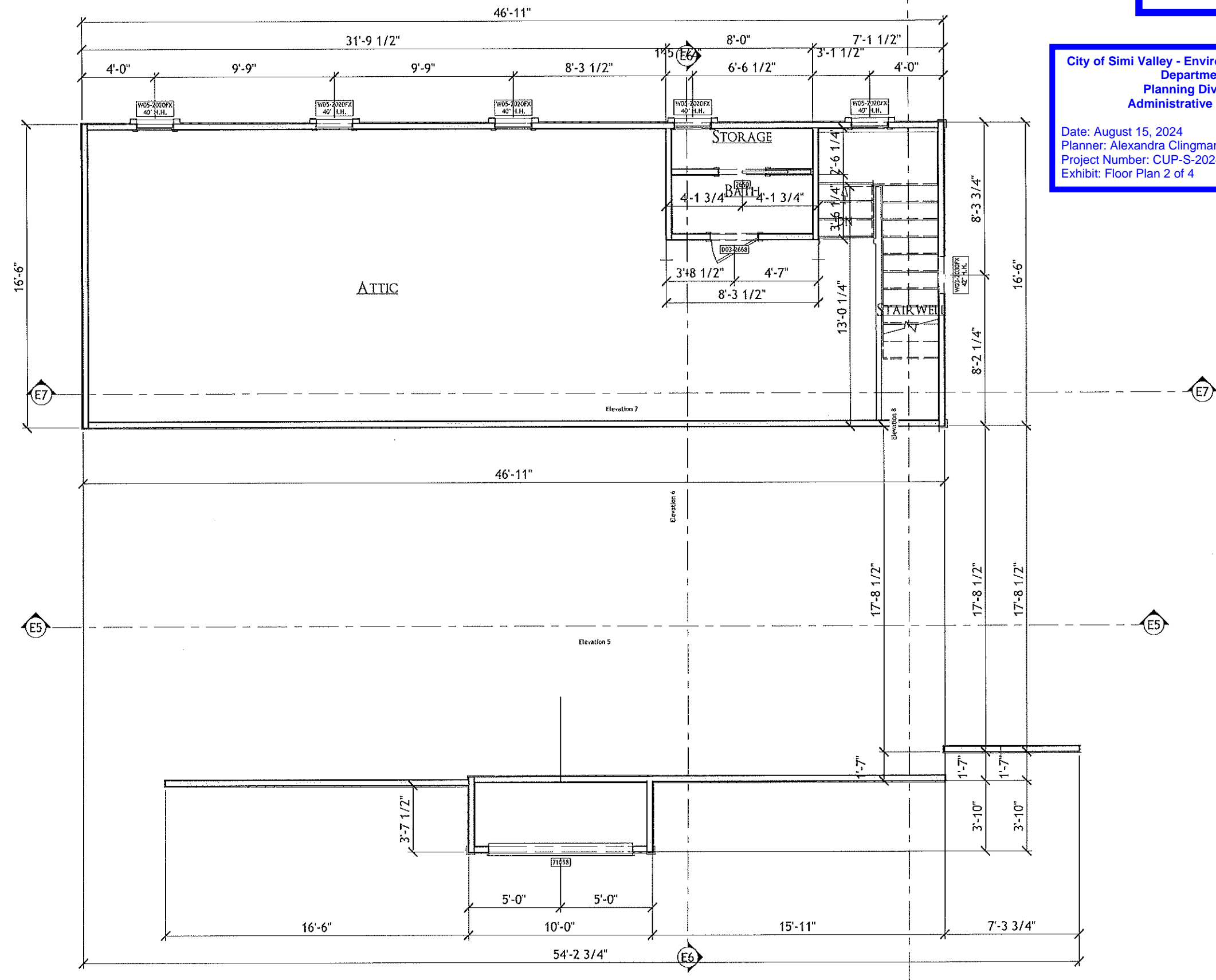
Revision Table			
Number	Date	Revised By	Description

PLAN FILE  
 22-061 Motor Barn

DATE	8/2/2024
4/11	

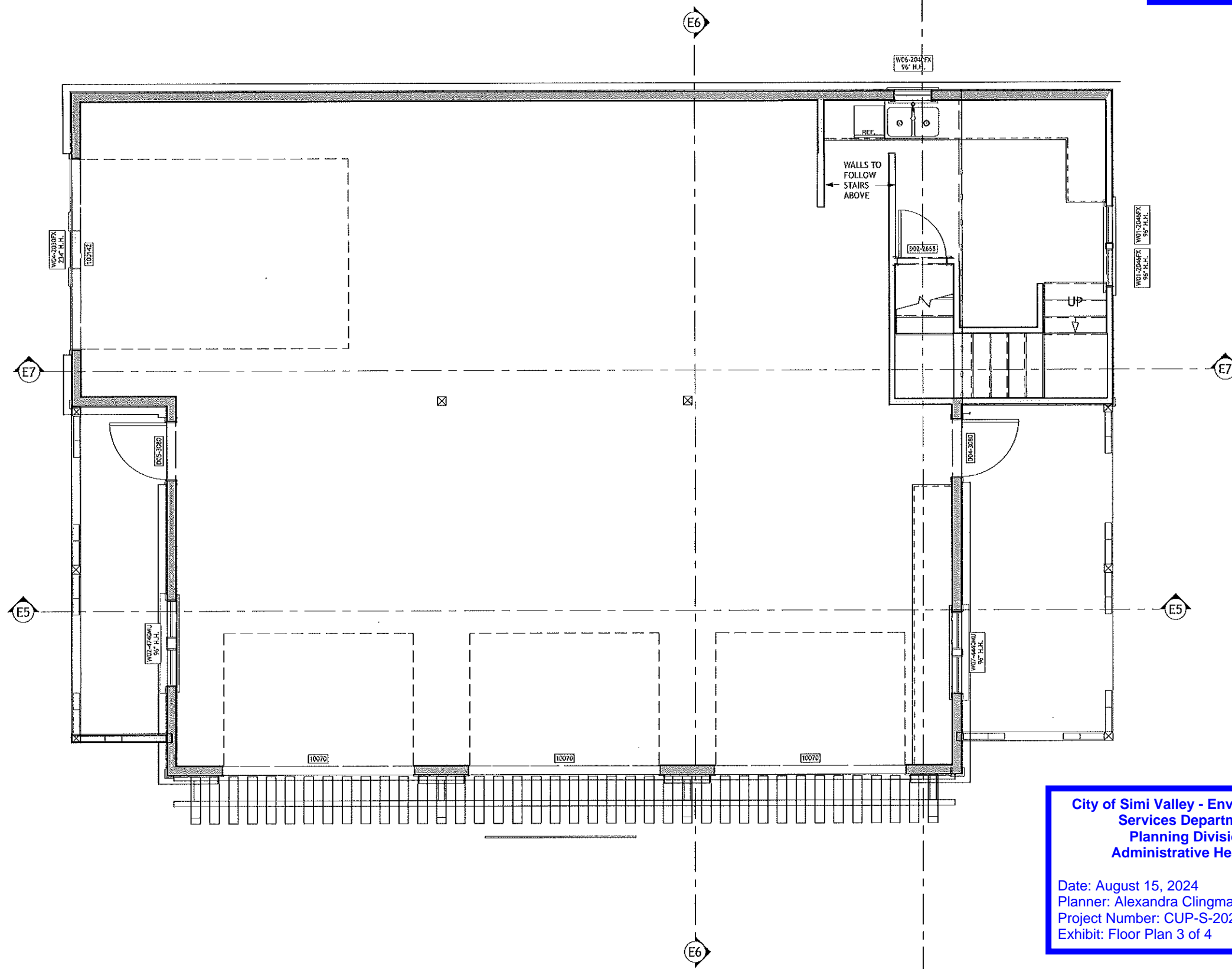
SHEET	SCALE
A-102	

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ATTIC FLOOR PLAN  
 SCALE: 3/8"=1'-0"

**EXHIBIT 1**



**City of Simi Valley - Environmental Services Department Planning Division Administrative Hearing**

Date: August 15, 2024  
 Planner: Alexandra Clingman  
 Project Number: CUP-S-2024-0008  
 Exhibit: Floor Plan 3 of 4

FIRST FLOOR PLAN  
 SCALE 3/8"=1'-0"



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ARCHITECT:

ENGINEERING:

CONTRACTOR:

PROJECT NAME:  
**RASMUSSEN GARAGE**  
 3308 WHISPERING GLEN CT SIMI VALLEY, CALIFORNIA 93065

SHEET NAME:  
**1ST FLOOR ANNOTATED PLAN**

Revision Table			
Number	Date	Revised By	Description

PLAN FILE  
 22-061 Motor Barn

	DATE
5/11	8/2/2024

SHEET	SCALE
A-103	

**EXHIBIT 1**

City of Simi Valley - Environmental Services Department  
 Planning Division  
 Administrative Hearing

Date: August 15, 2024  
 Planner: Alexandra Clingman  
 Project Number: CUP-S-2024-0008  
 Exhibit: Floor Plan 4 of 4



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ARCHITECT:

ENGINEERING:

CONTRACTOR:

PROJECT NAME:  
**RASMUSSEN GARAGE**  
 3308 WHISPERING GLEN CT SIMI VALLEY,  
 CALIFORNIA 93065

SHEET NAME:  
**ATTIC FLOOR ANNOTATED  
 PLAN**

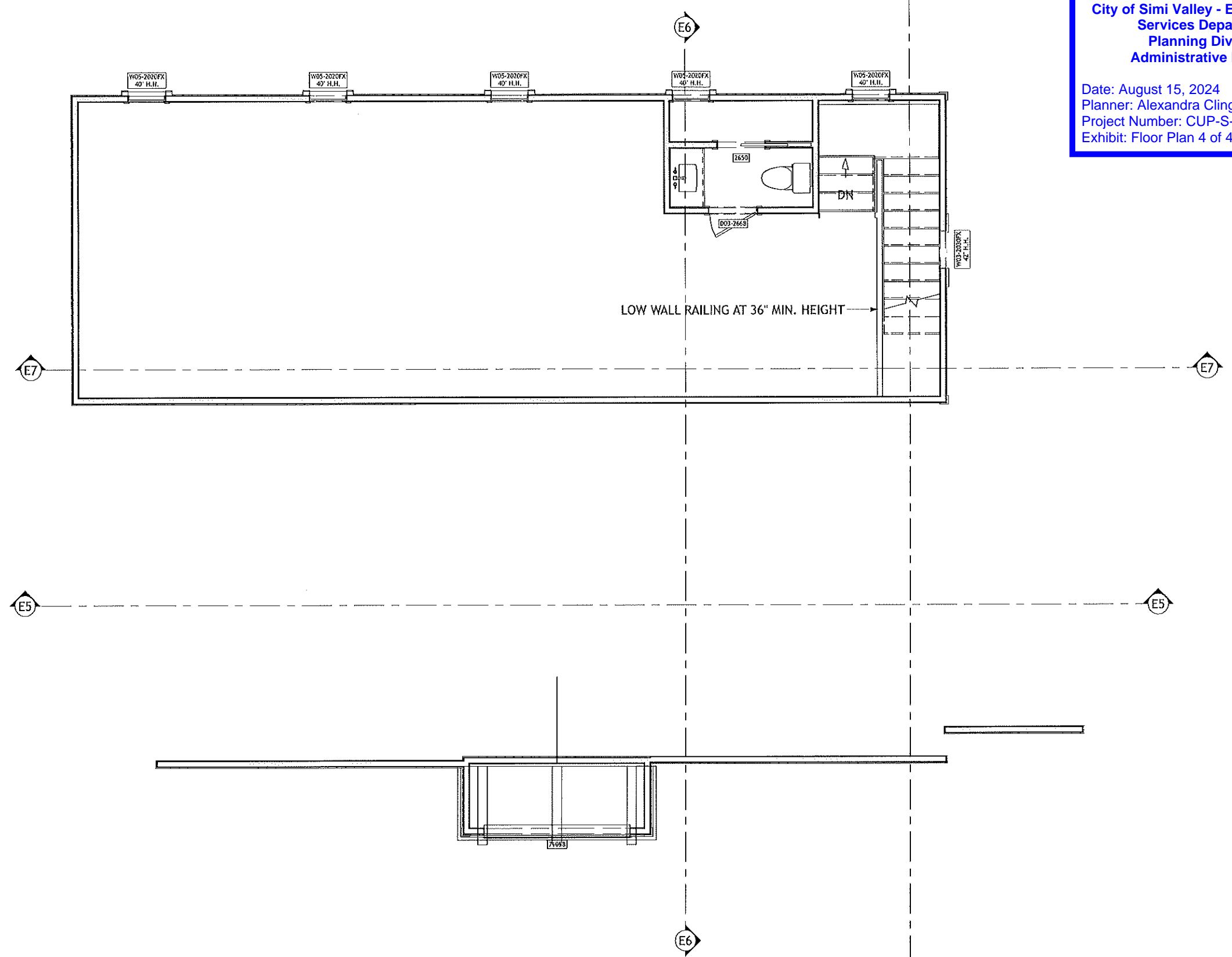
Revision Table			
Number	Date	Revised By	Description

PLAN FILE  
 22-061 Motor Barn

	DATE
6/11	8/2/2024

SHEET	SCALE
A-104	

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ATTIC FLOOR PLAN A1  
 SCALE: 3/8"=1'-0" A-104

City of Simi Valley - Environmental Services Department  
 Planning Division  
 Administrative Hearing

Date: August 15, 2024  
 Planner: Alexandra Clingman  
 Project Number: CUP-S-2024-0008  
 Exhibit: Elevation Plan 1 of 2

**EXHIBIT 1**



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ARCHITECT:

ENGINEERING:

CONTRACTOR:

PROJECT NAME:  
**RASMUSSEN GARAGE**  
 3308 WHISPERING GLEN CT SIMI VALLEY,  
 CALIFORNIA 93065

SHEET NAME:  
**ELEVATIONS**

Revision Table			
Number	Date	Revised By	Description

PLAN FILE  
 22-061 Motor Barn

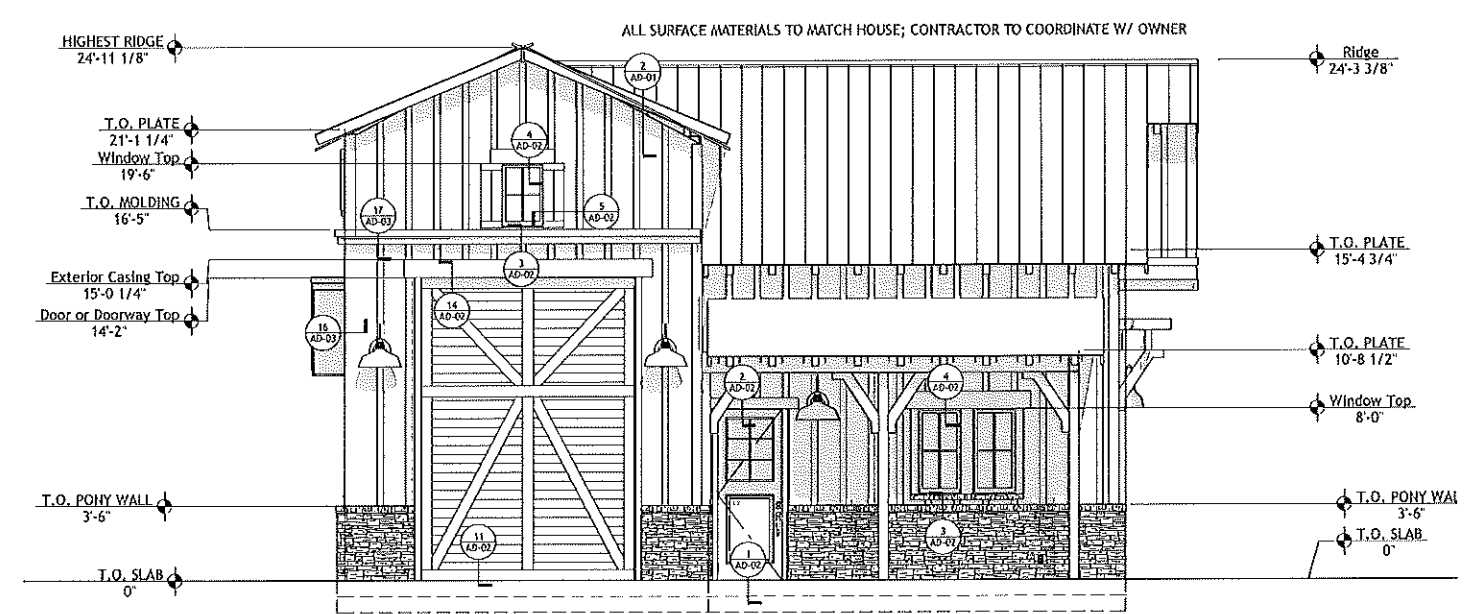
	DATE
8/11	8/2/2024

SHEET	SCALE
A-201	

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REAR ELEVATION - NORTH  
 SCALE: 1/4"=1'-0"  
 C2  
 A-201



FRONT ELEVATION - SOUTH  
 SCALE: 1/4"=1'-0"  
 A2  
 A-201

City of Simi Valley - Environmental Services  
 Department  
 Planning Division  
 Administrative Hearing

Date: August 15, 2024  
 Planner: Alexandra Clingman  
 Project Number: CUP-S-2024-0008  
 Exhibit: Elevation Plan 2 of 2

**EXHIBIT 1**



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ARCHITECT:

ENGINEERING:

CONTRACTOR:

PROJECT NAME:  
**RASMUSSEN GARAGE**  
 3308 WHISPERING GLEN CT SIMI VALLEY,  
 CALIFORNIA 93065

SHEET NAME:  
**ELEVATIONS**

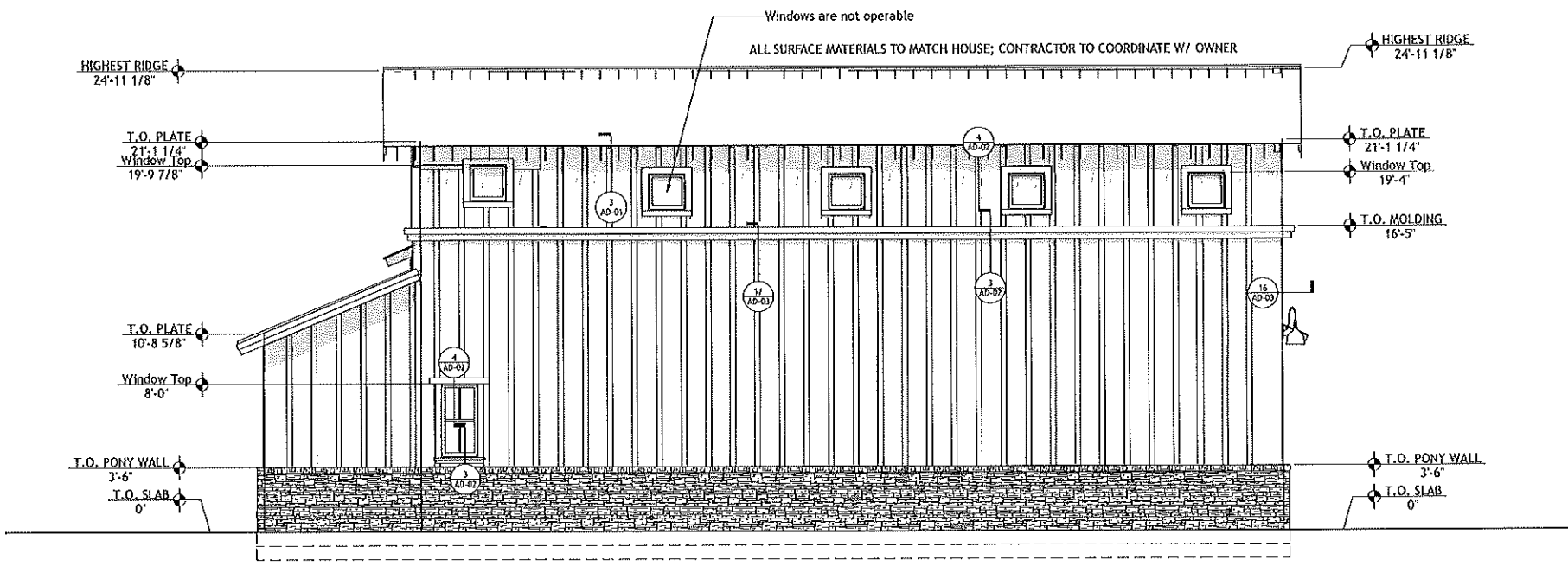
Revision Table			
Number	Date	Revised By	Description

PLAN FILE  
 22-061 Motor Barn

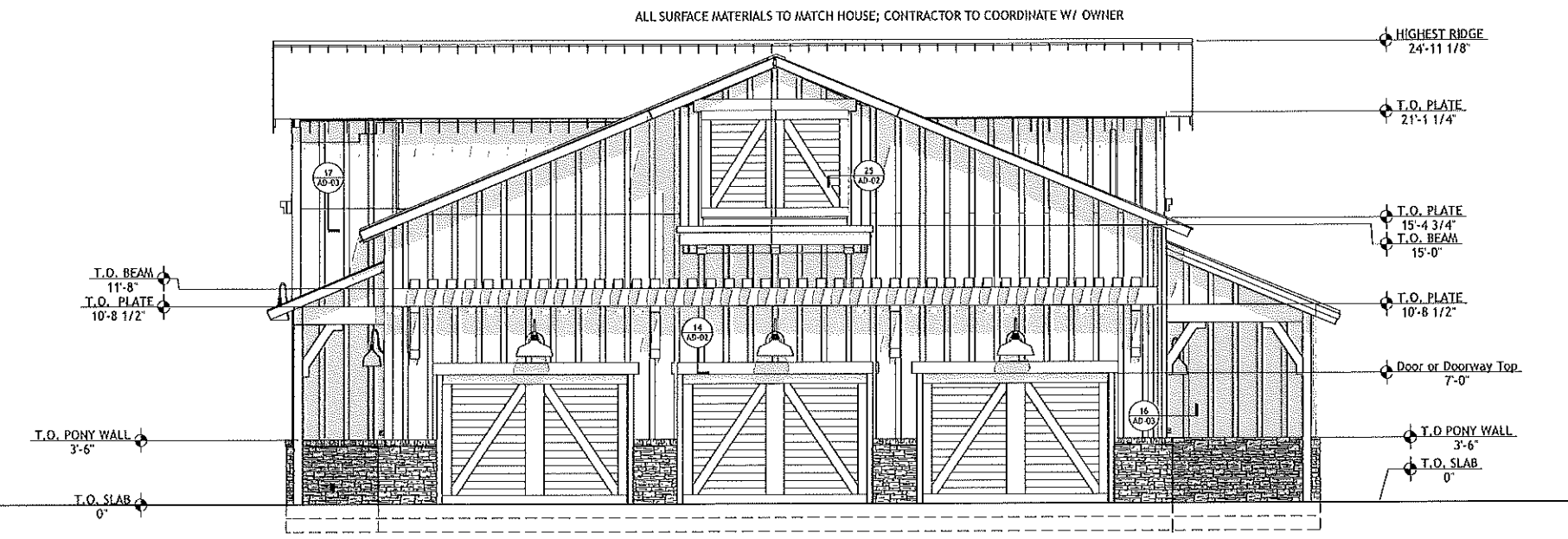
	DATE
9/11	8/2/2024

SHEET	SCALE
A-202	

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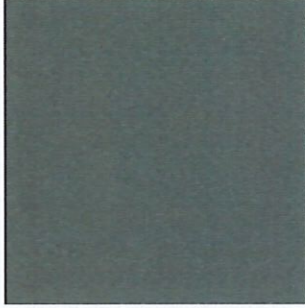







LEFT ELEVATION - WEST C2  
 SCALE 1/4"=1'-0" A-202



RIGHT ELEVATION - EAST A2  
 SCALE 1/4"=1'-0" A-202



EXTERIOR COLOR AND FINISH SCHEDULE FOR MR. & MRS. ADAM RASMUSSEN RESIDENCE

ROOFING ON MAIN HOUSE	ROOFING MATERIAL ON PARTY BARN AND MOTOR BARN	STONE VENEER	MAIN BODY – BOARD AND BATTEN, TRIM, EAVES, AND GARAGE DOORS.	ACCENT COLOR: SHUTTERS
 <p>GAF TIMBERLINE HDZ CHARCOAL</p>	<p>Charcoal</p>  <p>PACIFICMETALROOFING.COM              STANDING SEAM METAL ROOF WITH CONCEALED FASTENERS</p>	<p>LEDGER: BLUE STONE</p>  <p>WIDE GROUT- OVERGROUT TECHNIC              NATURAL GRAY GROUT  <a href="https://www.patagoniabuildingsupplies.com/big-portfolio.php?script=veneers-info.php&amp;section=ledge-panels&amp;ind=15">https://www.patagoniabuildingsupplies.com/big-portfolio.php?script=veneers-info.php&amp;section=ledge-panels&amp;ind=15</a></p>	<p>SHERWIN WILLIAMS WHITE GALLERY              HGSW 4002</p>	 <p>SHERWIN WILLIAM BLACK MAGIC              HGSW 6991</p>
<p>BARN LIGHTS</p>  <p>BLACK BARN LIGHTS: Franklin Iron Works Arnett Collection  <a href="https://www.franklinironworks.com/products/franklin-iron-works-arnett-10-1-2-inch-high-black-outdoor-wall-light-42f98">Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light - #42F98   Lamps Plus</a></p>	<p>GAS ENTRY LIGHTS</p>  <p>20" MANHATTAN SQUARE YOKE WALL MOUNTED GAS LIGHT WITH SEEDED GLASS.  <a href="https://www.flambeaulighting.com/product/manhattan-wall-mounted-square-yoke-lantern/">https://www.flambeaulighting.com/product/manhattan-wall-mounted-square-yoke-lantern/</a></p>	<p>REMAINING ELECTRIC LIGHTS</p>  <p>FEISS FARMHOUSE COLLECTION FROM LAMPS PLUS:  <a href="https://www.lampsplus.com/shop/product/feiss-chappman-14-3-4-inch-high-antique-bronze-outdoor-wall-light-18y67/">Feiss Chappman 14 3/4" High Antique Bronze Outdoor Wall Light - #18Y67   Lamps Plus</a></p>	<p>FLAGSTONE PAVERS</p>  <p>GRAY FLAGSTONE  <a href="https://arroyobuildingmaterials.net/flagstone/">https://arroyobuildingmaterials.net/flagstone/</a></p>	<p>Brick Pavers</p>  <p>MELROSE USED BRICK  <a href="https://arroyobuildingmaterials.net/brick/mcnear-brick-and-block/mcnear-clay-brick-and-thin-brick/">https://arroyobuildingmaterials.net/brick/mcnear-brick-and-block/mcnear-clay-brick-and-thin-brick/</a></p>