



NEIGHBORHOOD COUNCIL #2
TUESDAY, JANUARY 12, 2021, 7:00 p.m.

ZOOM ONLINE MEETING

<https://simivalley.zoom.us/j/92475144821>

Or by Telephone: Dial US: +1 669 900 9128 Webinar ID: 924 7514 4821

IN ACCORDANCE WITH THE CALIFORNIA GOVERNOR'S EXECUTIVE STAY AT HOME ORDER AND THE COUNTY OF VENTURA HEALTH OFFICER DECLARED LOCAL HEALTH EMERGENCY AND STAY WELL AT HOME ORDER RESULTING FROM THE NOVEL CORONAVIRUS, THE CITY IS NOT CONDUCTING IN-PERSON MEETINGS. TO FIND OUT HOW YOU MAY ELECTRONICALLY PARTICIPATE IN THE NEIGHBORHOOD COUNCIL MEETING AND PROVIDE PUBLIC COMMENT, PLEASE REFER TO ITEM 5 OF THIS AGENDA.

AGENDA

NC #2 Chair	Pete Stong
NC #2 Vice Chair	Raine Wiseman
NC #2 Secretary	Gloria Bowman
CS Coordinator	Emily Habib
City Council Liaison	Council Member Elaine Litster

1. Call to Order/Welcome/Pledge of Allegiance
2. Agenda Review
3. Approval of Minutes
4. Correspondence
5. Public Statements/Comments

This is the time allotted for public statements or comments on matters within the subject matter and jurisdiction of the Executive Board not on the agenda. Statements and comments are limited to no more than three (3) minutes per speaker.

NEW COMMENT PROCEDURE DUE TO THE COVID-19 PANDEMIC.

Public comment is the opportunity for members of the public to participate in meetings by addressing the Neighborhood Council in connection with one or more agenda or non-agenda items.



The following options allow for public participation:

- a. Watch the Neighborhood Council Meeting live online at Zoom:
<https://simivalley.zoom.us/j/92475144821>
Or listen by telephone: +1 669 900 9128, Webinar ID: 924 7514 4821 and raise hand with *9
- b. If you wish to make a comment on a specific agenda item, please sign-on via this Zoom Link: <https://simivalley.zoom.us/j/92475144821> and use the raise hand function when this agenda item is called. If you wish to make a public comment, you must be signed into the meeting and available at the time this agenda item is called.
- c. Or, if you are unable to sign-on to Zoom and wish to make a comment on a specific agenda item, please submit your comment via email by 4:00 p.m. on the day of the Neighborhood Council meeting to the Community Services Coordinator at ehabib@simivalley.org and include the Agenda Item topic and/or your comments. These emails will be provided to the Neighborhood Council prior to the meeting and made a part of the record.

6. Informational Presentation: None

7. New Business

- a. Request to construct five industrial buildings for a total of 356,349 square-foot at 1800 Tapo Canyon Road
- b. Request to remodel an existing 6,048 square-foot commercial building into a Starbucks coffee shop with a drive-thru lane at 5821 E. Los Angeles Avenue

8. Community Services Coordinator's Report

9. Executive Board Comments

This is the time allotted for Executive Board member statements or comments on matters within the subject matter and jurisdiction of the Neighborhood Councils, to request a future agenda item, or to give an Ad Hoc Committee Report. This is also the time to make any announcements related to community events and other items of interest.

10. Adjournment: Tuesday, February 9, 2020, 7:00 p.m.

/s/

Yvette Moore
Administrative Officer

If any interested individual has a disability that may require accommodation to participate in this meeting, please contact the Community Services Coordinator at (805) 583-6756. Upon advance notification, reasonable arrangements will be made to provide accessibility to the meeting.

DRAFT MINUTES

1. Call to Order/Welcome/Pledge of Allegiance

Community Services Coordinator Emily Habib called the meeting to order at 7:03 p.m. She also confirmed that a quorum was present.

Alan Barkwill	P	Jon Weber	A
Gloria Bowman	P	Victoria Wright	A
Eli Holland	P	Jessica Freeman	P
Wolfgang Knabe	P	Pete Stong	P
Lois Lengel	P	Jennifer Warner	P
Pepper Aarvold	P	Raine Wiseman	P
Richard Moore	P	P=Present; E=Excused; A=Absent	

2. Agenda Review

No changes were made to the agenda.

3. Approval of Minutes

The October 13, 2020 minutes could not be approved. Due to the changes in Neighborhood Council boundaries on November 1, 2020, different Executive Board members were present at the current meeting than those at the previous meeting. The minutes will remain in draft form.

4. Correspondence: None

5. Public Statements/Comments

A resident expressed concern about the following:

- Participants in the recent Car-on-a-Cruise possibly blocking neighborhood driveways.
- Extra costs to the City for police escort services for the recent memorial drive for the Borderline shooting victims.

He also stated that:

- A location in the Neighborhood Council #2 boundaries should be found to host a Safe Park site.
- Test kitchens should be set up as part of the Cottage Food Act.

6. Informational Presentation: None

7. New Business

- a. Discussion/Action on Municipal Code amendments for establishing standards for bee keeping (Apiculture) activities in single-family zones

Questions/comments from the audience and responses from the applicant:

A member of the audience commented that the City should apply for the Bee City USA program.

Questions/comments from the Executive Board and responses from the applicant:

What department will oversee the beekeeping program?

The Planning Division will issue permits, which are only anticipated to be 2-4 per year, as part of its regular duties. No significant increase in cost is anticipated.

How will permit conditions be enforced?

Enforcement will be complaint based.

What department will enforce the permit conditions?

The Code Compliance Division will enforce the permit conditions, but County Animal Control could also be involved since bees come under their purview.

Are the amendments being proposed due to a high demand for beekeeping in Simi Valley?

The demand is unknown. The City Council requested that staff draft amendments to the Municipal Code regarding amateur beekeeping.

How were the proposed lot sizes and setbacks chosen?

They are based upon research into standard practices in other jurisdictions.

If a neighbor receives a notice regarding the issuance of a permit for beekeeping and has an objection, what is the next step in the process?

For smaller lots, 8,000 to 20,000 square feet, the review would normally take place at the administrative level, with notices will be sent to neighbors within 100 feet of the property. If there are objections, an administrative level public hearing can be scheduled.

Comments:

Some Executive Board members commented that bees are an important part of the ecosystem.

Some Executive Board members expressed concern that the standing water source for the bees could lead to the breeding of mosquitos. The requirement of a recirculating pump system was suggested.

An Executive Board member commented that beekeeping should be allowed on lots smaller than 8,000 square feet.

Upon conclusion of the discussion, the following motion was made by Wolfgang Knabe and seconded by Gloria Bowman:

Recommend that the Planning Commission approve the Municipal Code amendments for establishing standards for bee keeping (Apiculture) activities in single-family zones as presented.

Executive Board vote:	9 Ayes;	1 No;	1 Abstention
Audience vote:	1 Aye;	0 Noes;	0 Abstentions
Unincorporated Area vote:	None		

The motion passed.

b. Election of Officers

By consensus of the Executive Board, Pete Stong was elected Chair, Raine Wiseman was elected Vice Chair, and Gloria Bowman was elected Secretary.

8. Community Services Coordinator's Report

Emily Habib noted that the Neighborhood Councils would most likely not be meeting in December. She informed Executive Board members that the recruitment for the March 2021 term would begin shortly. She also discussed a press release on an upcoming Metrolink upgrade of approximately two miles of railroad tracks in the city.

9. Executive Board Comments

Executive Board members introduced themselves. Gloria Bowman reminded members about the twice monthly Free Farmers Market at the Simi Valley Community Garden. Pepper Aarvold noted that tours of the Reagan Library will reopen after the beginning of 2021.

10. Adjournment: Tuesday, December 8, 2020, 7:00 p.m.

By the consensus of the Executive Board, the meeting was adjourned at 8:20 p.m.



CITY OF SIMI VALLEY

Neighborhood Council Project Overview

Project No. PD-S-1075/TT 6055
Neighborhood Council No. 2
Neighborhood Council Date. January 12, 2021
Tentative Planning Commission Meeting Date. March 3, 2021
Case Planner. Caesar Hernandez

Request:

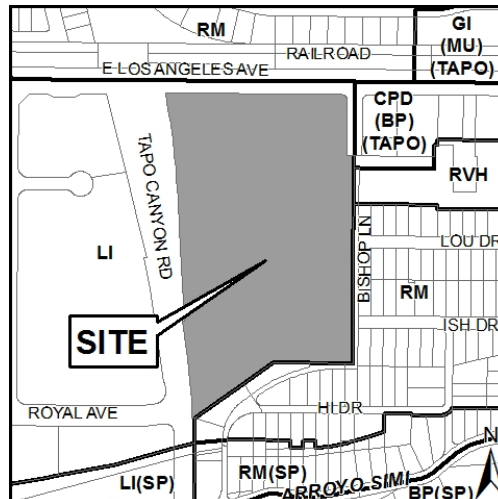
Planned Development Permit No. PD-S-1075/Tentative Tract Map No. 6055: A Request to construct five Industrial buildings for a total of 356,349 square feet on an 18-acre lot.

Applicant:

Scott Sowanick
 2001 Ross Avenue, Suite 400
 Dallas, CA 75201
 (214) 560-2965
 scott.sowanick@streamrealty.com

General Plan/Zoning: Industrial/Light Industrial

Location: 1800 Tapo Canyon Road



Neighborhood Council Project Overview for PD-S-1075/TT-6055

I. Project Description

The applicant proposes to redevelop an existing 18-acre lot, including the demolition of an existing office building and subdividing the lot into five parcels for the construction of five industrial buildings. The existing developed lot with the commercial office building and surrounding uses are shown in Figure 1 below.

Figure 1
Existing Land Use Map



The proposed development would include five industrial buildings for warehouse and office uses with a total of 356,349 square feet and 504 parking spaces. The proposed industrial buildings will range in size from approximately 25,944 square feet to 138,210 square feet. Each building will contain loading docks for the loading/unloading of freight.

The project site will have five access points to the site: three driveways along Tapo Canyon Road and a driveway on Los Angeles Avenue. There will be a right-in/right-out only located at the middle driveway on Tapo Canyon Road. The southern entrance at Tapo Canyon Road and Los Angeles Avenue will include full turn capabilities. The second driveway on Bishop Lane/Los Angeles Avenue is for egress only. Internal circulation is designed to provide sufficient access to each loading area and provide the appropriate truck turning radii-space.

The project site currently consists of a primarily single-story office building (totaling approximately 275,000 square feet in size), surrounding surface parking and landscaping. The existing structure will be demolished and parking aisles and spaces will be reconfigured to accommodate new on-site truck and vehicular traffic flow.

Neighborhood Council Project Overview for PD-S-1075/TT-6055

The five lot subdivision and building sizes are shown in Figure 2 and Table A, respectively below.

Figure 2
Proposed Subdivision and Site Plan

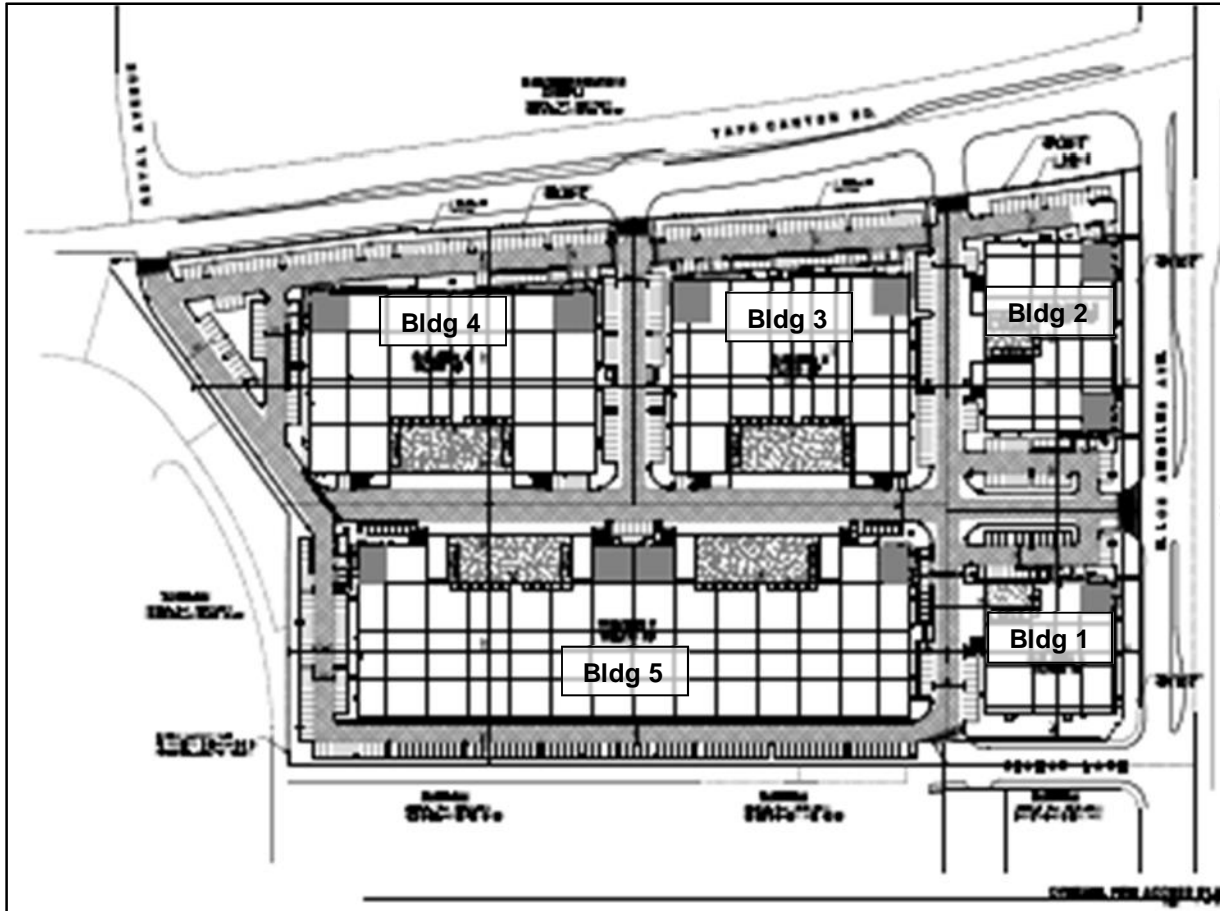


Table A

Parcel No.	Net Parcel Acreage	Building Number and Use	Building Area	Building Height
Parcel 1	1.6	Bldg. 1: Industrial	25,944 sq. ft.	29 ft.
Parcel 2	2.3	Bldg. 2: Industrial	38,480 sq. ft.	29 ft.
Parcel 3	3.4	Bldg. 3: Industrial	72,519 sq. ft.	38 ft.
Parcel 4	4.4	Bldg. 4: Industrial	81,196 sq. ft.	38 ft.
Parcel 5	6.3	Bldg. 5: Industrial	138,210 sq. ft.	40 ft.
Total	18	N.A.	356,349sq. ft.	N.A.

Neighborhood Council Project Overview for PD-S-1075/TT-6055

II. Project Design

Building architecture is typified by walls that are surfaced with stucco, ribbed metal panels and masonry columns to provide changes in colors and materials. The colors for the cement tilt-up buildings include Sherwin Williams “Snowbound,” “Gray Screen,” “Network Gray,” and “Inky Blue.” The window types will include blue reflective glazing and clear anodized mullions. Prominent score lines, trim surrounding windows and small wall projections will provide wall relief. Photosimulations of the project buildings and landscaping from Los Angeles Avenue and Tapo Canyon are shown in Figures 3, 4, 5, and 6.



Neighborhood Council Project Overview for PD-S-1075/TT-6055

Figure 4
Project Viewed Along South Tapo Canyon Road



Figure 5
Project Viewed from Bishop Lane and Los Angeles Avenue



Neighborhood Council Project Overview for PD-S-1075/TT-6055



The elevations of Buildings 1 through 5 are shown in Figure 7 below, followed by the Conceptual Landscape Plan in Figure 8.

Figure 7
Building Elevations



Neighborhood Council Project Overview for PD-S-1075/TT-6055

Building 2



E. LOS ANGELES AVENUE - NORTH ELEVATION BUILDING 2



TAPO CANYON ROAD - WEST ELEVATION BUILDING 2

EAST ELEVATION BUILDING 2



SOUTH ELEVATION BUILDING 2

Building 3



NORTH ELEVATION BUILDING 3



TAPO CANYON ROAD - WEST ELEVATION BUILDING 3



SOUTH ELEVATION BUILDING 3



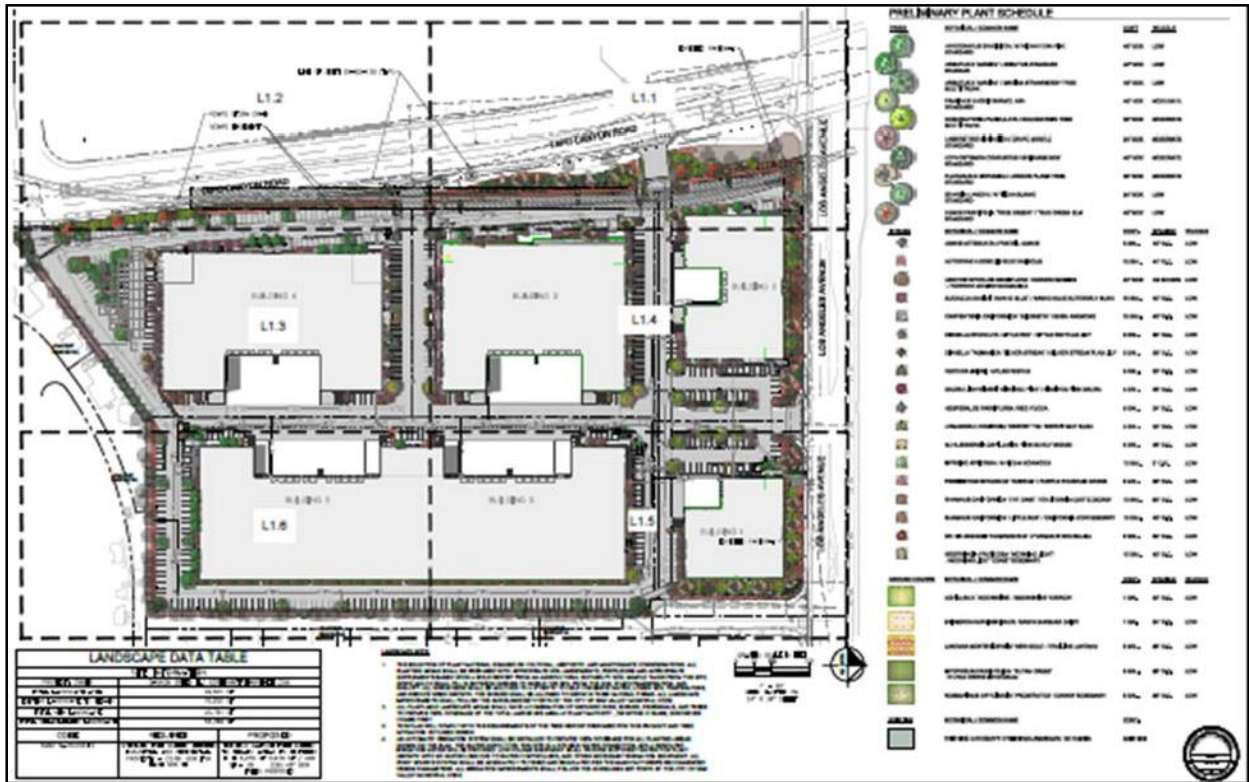
EAST ELEVATION BUILDING 3

Neighborhood Council Project Overview for PD-S-1075/TT-6055



Neighborhood Council Project Overview for PD-S-1075/TT-6055

Figure 8
Conceptual Landscape Plan



III. Project Compatibility

The proposed project is surrounded by the following land use designations and uses (Refer to Figure 1, Existing Land Use map on page 1).

Neighborhood Council Project Overview for PD-S-1075/TT-6055

Table B
General Plan, Zoning and Land Use Surrounding the Proposed Project

	GENERAL PLAN	ZONING	LAND USE
Subject Site:	Industrial	Light Industrial	Commercial Office
North :	Medium Density	Residential Medium	Railroad tracks and Single Family Dwelling units
South	Moderate Density	Residential Medium (SP)	Single Family Dwelling units
East	Business Park/Very High Density/Moderate Density	Commercial Planned Developmental (BP) (TAPO)/Residential Very High/ Residential Medium	Single Family Dwelling units and a Retail Center
West:	Industrial	Light Industrial	Industrial building/Distribution Center

The project is compatible with its surroundings in that:

1. The proposed industrial buildings are allowed in the site's Light Industrial zone. There are other existing industrial uses located in the vicinity of the project – there is an industrial building to the west, a business park located to the southwest on Royal Avenue/ Tapo Canyon Road and an industrial park located to the south along Guardian Street. Additionally, the photometric and luminaires plans for the proposed development would comply with SVMC 9-30.040. The project would also comply with the exterior noise levels set forth in the City's General Plan and not exceed 63 dBA.
2. The proposed 29 and 38-foot high buildings will include parapets to screen the related roof equipment. The buildings will be softened by extensive perimeter landscaping, including a landscape strip facing Los Angeles Avenue and Tapo Canyon Road that includes substantial trees and an enriched parkway. The proposed Landscape Plan shown in Figure 8 and photosimulations of the proposed project from Los Angeles Avenue and Tapo Canyon Road are shown in Figure 3 through Figure 6.
3. All business activity will be conducted within the buildings as required by Simi Valley Municipal Code Sections 9-28.085, 9-26.040 and 9-44.065.
4. The proposed 504 parking spaces exceed the required 299 parking spaces.

Neighborhood Council Project Overview for PD-S-1075/TT-6055

IV. Environmental Review

Environmental review is ongoing. Public Works Department staff review shows no significant traffic or drainage issues based on the submitted studies.

V. Exhibits

Project exhibits are included in the document.



CITY OF SIMI VALLEY

Neighborhood Council Development Project Overview

Project No. CUP-S-829
 Neighborhood Council No. 2
 Neighborhood Council Date January 12, 2021
 Tentative Planning Commission Meeting Date February 17, 2021
 Case Planner Caesar Hernandez

Request:

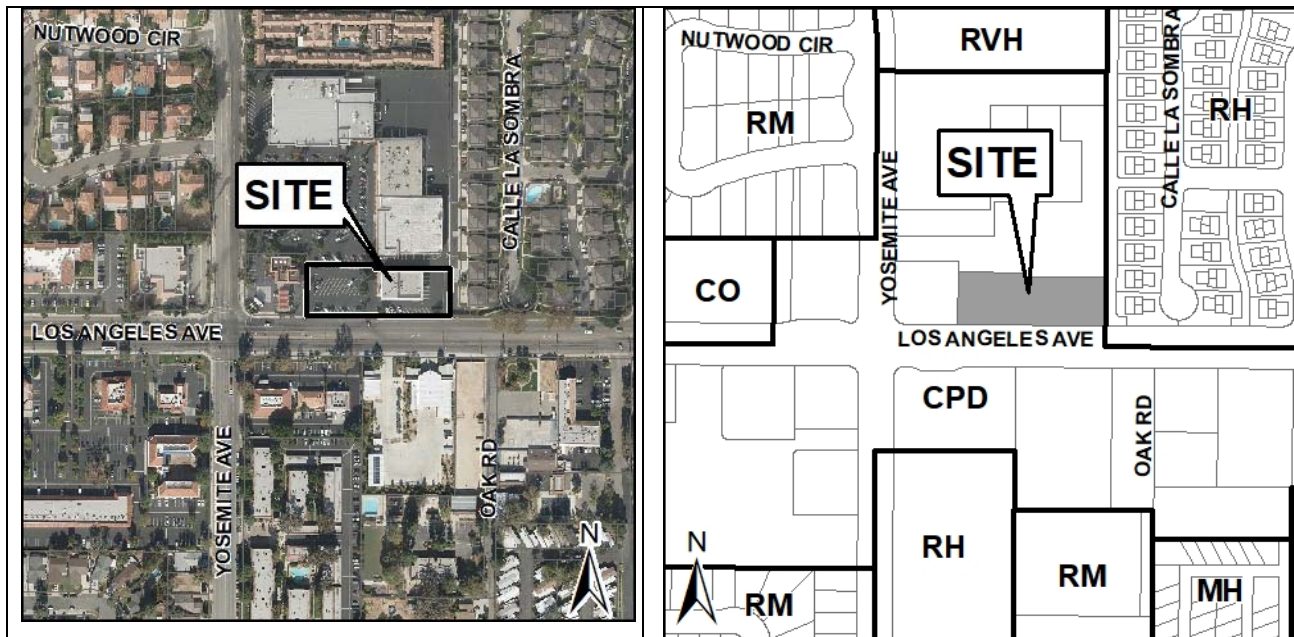
Conditional Use Permit No. CUP-S-829: A request to remodel an existing 6,048 square-foot commercial building and convert it into a new restaurant/coffee shop with a drive-thru lane.

Applicant:

Avanti Development Partners, Inc.
 3386 Avenida Nieve
 Carlsbad, CA 92009
 (619) 471-1880
clisle@avantidevpartners.com

General Plan/Zoning: General Commercial / Commercial Planned Development

Location: 5821 East Los Angeles Avenue



Neighborhood Council Project Overview for CUP-S-829

Project Description

The Applicant, Avanti Development Partners Inc., requests approval of a Conditional Use Permit to remodel an existing, 6,048 square-foot commercial building and convert it into a restaurant/coffee shop with a drive-thru. The existing developed lot with the commercial office building and surrounding uses are shown in Figure 1 below.

Figure 1
Existing Land Use Map

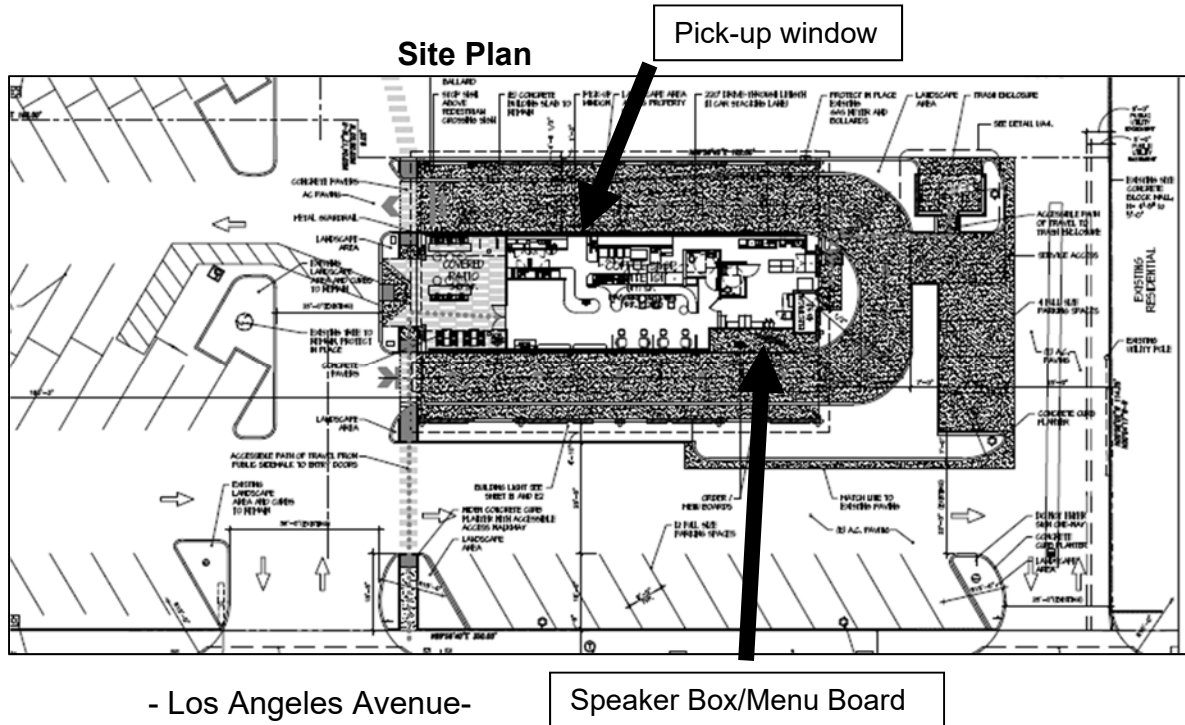


The proposed construction would provide a 1,977 square-foot coffee house, a 543 square-foot patio and a 3,528 square-foot tunnel. Fifty-five (55) parking spaces would be provided, which exceeds the eight (8) space requirement.

A new drive-thru lane would be constructed through the building with an order window/menu board that faces Los Angeles Avenue. The pickup window will be facing the north elevation. The entry/patio area will be facing the west elevation. The drive-thru queuing lane meets the required length of 180 feet, see Figure 2. This vehicle queuing length is augmented by the existing 25-foot drive aisle that would allow for proper ingress and egress for the drive-thru. As an added safety measure, the project will be conditioned to provide pedestrian signs at the drive-thru exit. In addition, the parking lot is designed to allow compatible vehicle circulation between the proposed coffee shop and the existing shopping center.

Neighborhood Council Project Overview for CUP-S-829

Figure 2



I. Project Design

The shell of the existing bank building will be renovated to accommodate the drive-thru component within the existing perimeter building walls, thus reducing the building area from 6,048 square-feet to 1,977 square-feet). The existing building architecture will remain unchanged, see Figure 3.

Figure 3



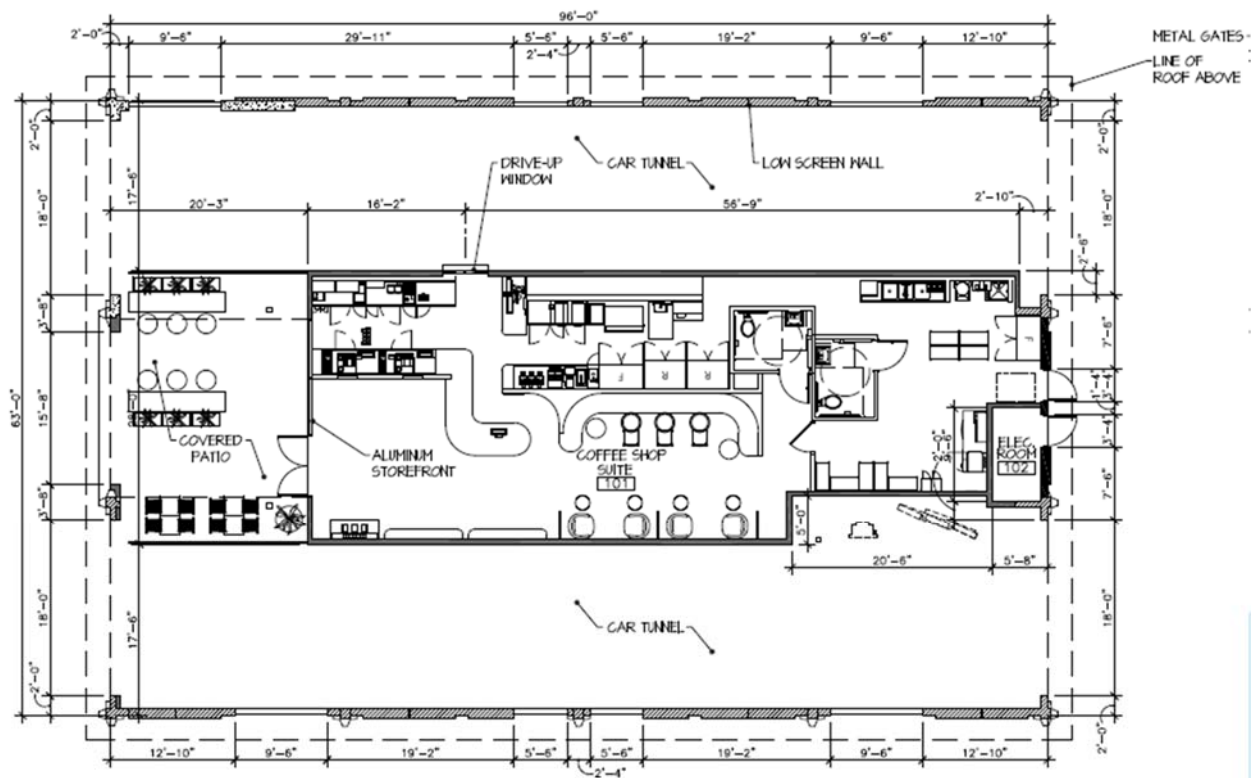
Existing Building from Los Angeles Avenue

Neighborhood Council Project Overview for CUP-S-829

The proposed coffee shop and covered patio will be half the size of the existing commercial building and will have a contemporary architectural design. The existing building is typified by its simple geometric rectangle, a parapet cap and cornice that are punctuated by 18-foot long plaster pilasters, a concrete block wall and a split-face concrete block wall. The Applicant is proposing to add corrugated metal panels to the interior and exterior walls and paint the building tan and white. The building Floor Plan and Elevations are shown below in Figure 4.

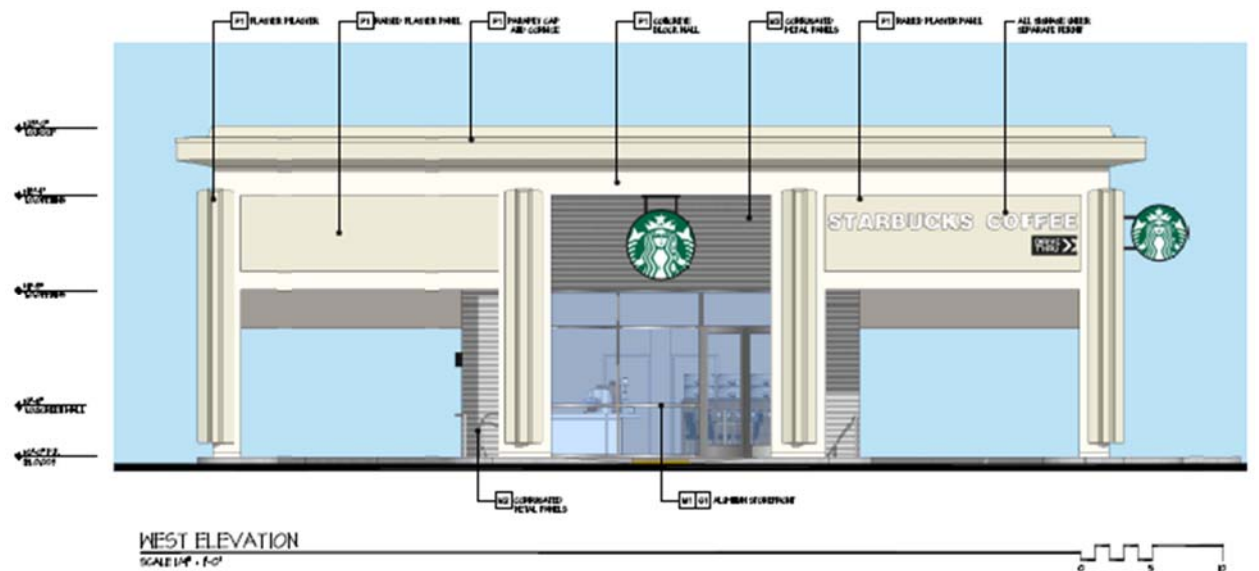
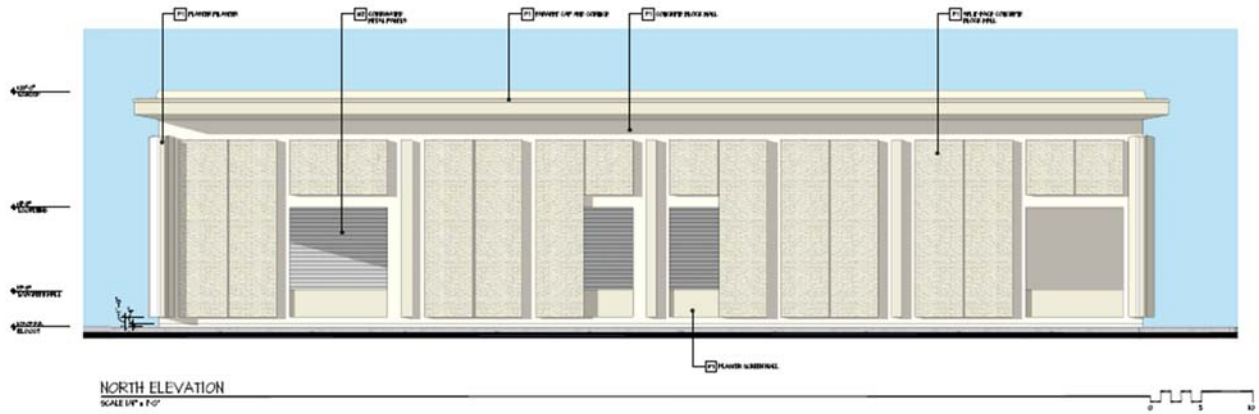
Figure 4

Floor Plan

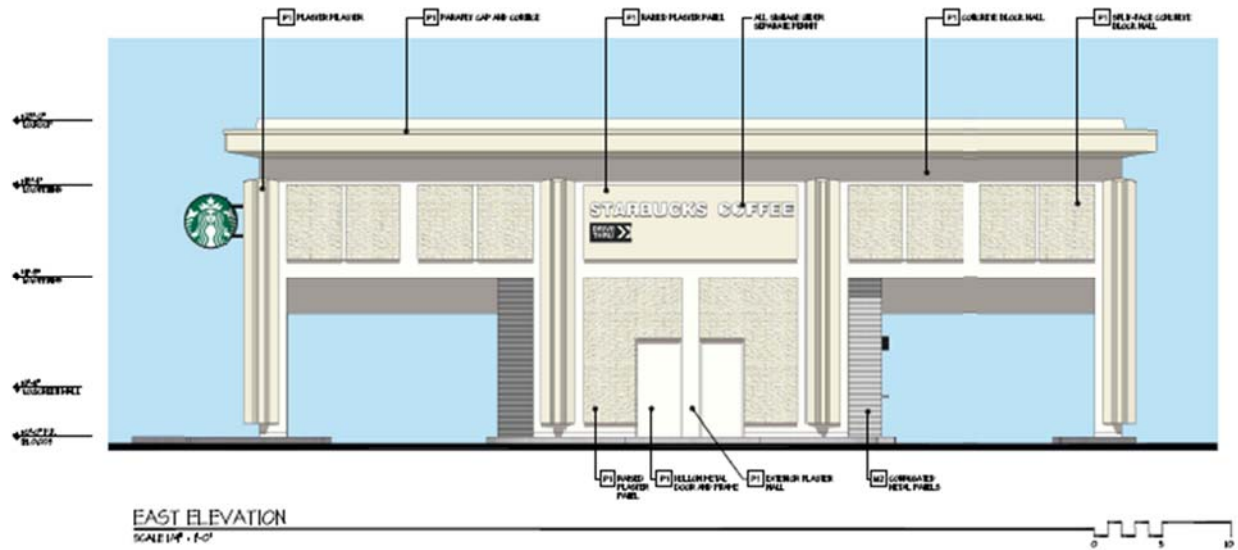


Neighborhood Council Project Overview for CUP-S-829

Elevations



Neighborhood Council Project Overview for CUP-S-829



Project Compatibility

The proposed project is surrounded by the following land use designations and uses (refer to Figure 1 on page 1).

	GENERAL PLAN	ZONING	LAND USE
Subject Site:	General Commercial	CPD (Commercial Planned Development)	Office building
North:	General Commercial	CPD	Shopping Center
South:	Los Angeles Avenue	Public right-of-way.	Los Angeles Avenue
East:	High Density	Residential High	Multi-family Duplexes
West:	General Commercial	CPD	Gas Station

Project compatibility with the residence to the east is provided by an existing masonry wall and a landscape vine that screens the project from the residential duplexes. There are existing end planters with trees along the south side parking lot and within the west side parking lot. The project will include a seven-foot wide landscape planter located between the drive-thru lane and the existing 25-foot drive aisle on the east side of the building. The Applicant has agreed to repair and improve the existing 30-inch high wall along the south property line. Additionally, the Applicant has agreed to install street trees along the sidewalk on the public right of way.

Neighborhood Council Project Overview for CUP-S-829

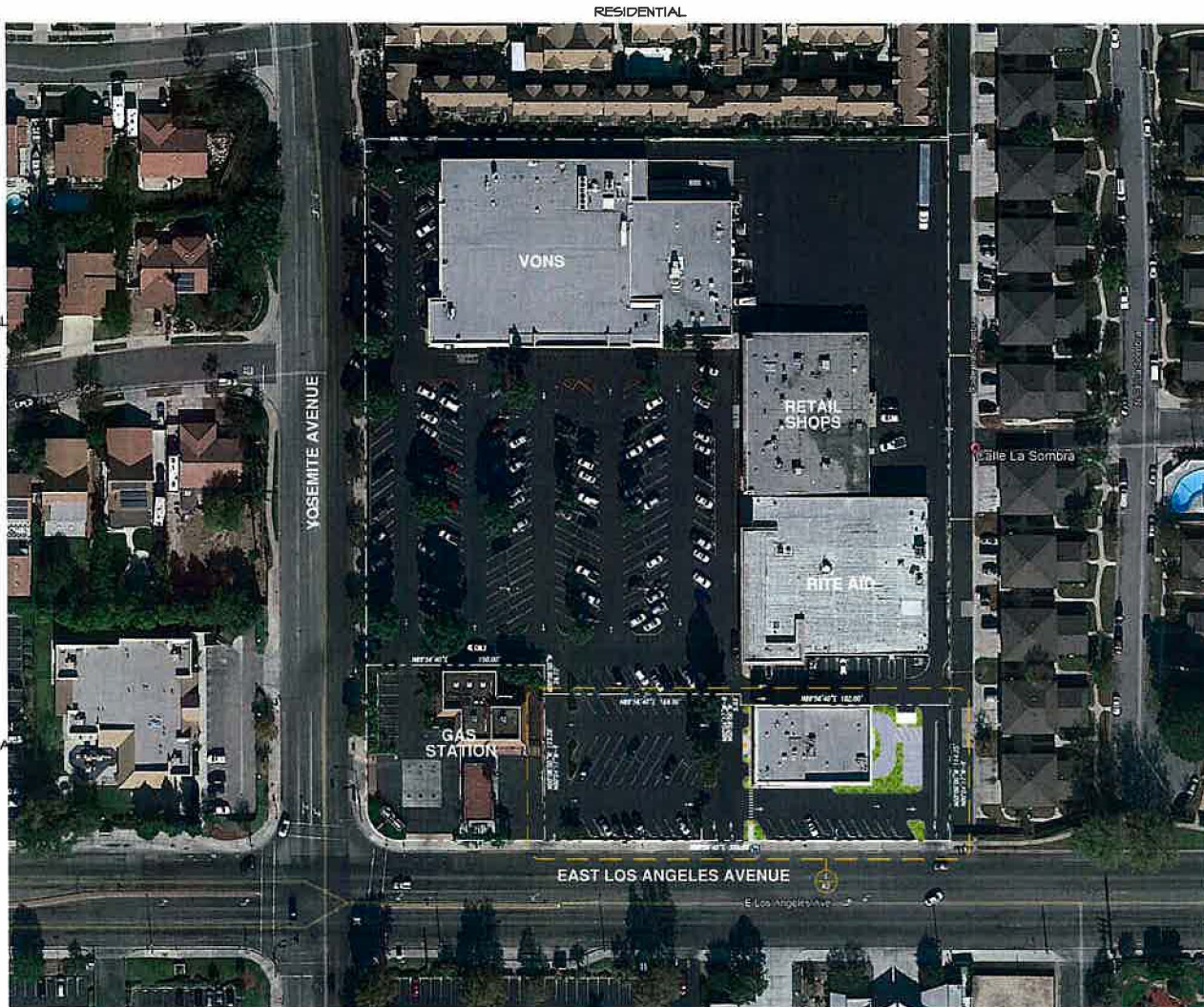
Project compatibility with the neighborhood is provided by (a) the one-story commercial building being similar to the adjacent one-story retail buildings within the shopping center; (b) the speaker box will be located within the tunnel which will help attenuate noise levels; (c) the Traffic Impact Study showing that the Level of Service (LOS) does not change from the projected LOS-A whether the project is built or not; and (c) a parking lot design that contains drive-thru traffic impacts on-site.

II. Environmental Review

There are no environmental issues. Public Works Department staff review shows no significant traffic or drainage issues.

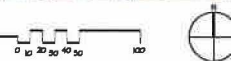
III. Exhibits

Project plans are attached.



REFERENCE SITE PLAN
SCALE: 1" = 40'-0"

COMMERCIAL



RETAIL REMODEL

5821 EAST LOS ANGELES AVENUE, SIMI VALLEY, CALIFORNIA

DECEMBER 04, 2020

INDEX OF DRAWINGS

- A1 MASTER SITE PLAN
- A2 PARTIAL DEMOLITION SITE PLAN
- A3 PROPOSED SITE PLAN
- M1 DEMOLISHING FLOOR, ROOF PLAN AND PROPOSED FLOOR, ROOF PLANS - COFFEE SHOP
- M2 EXTERIOR ELEVATIONS NORTH & WEST - COFFEE SHOP
- M3 EXTERIOR ELEVATIONS SOUTH & EAST - COFFEE SHOP
- A7 PERSPECTIVE - LOS ANGELES AVE ST, EAST SIDE AND TUNNEL ENTRY
- L1 LANDSCAPE SITE PLAN
- I of I PRELIMINARY GRADE & DRAINAGE PLAN
- EG00 SITE PHOTOGRAPHIC LIGHTING PLAN
- EG00 LIGHT FIXTURE GFT SHEETS

PROJECT DESCRIPTION

EXISTING FORMER BANK BUILDING; REMODEL BUILDING FOR 2 TENANTS WITH DRIVE THROUGH FACILITIES. REMOVE PORTIONS OF EXTERIOR BLOCK MALL, CONCRETE BANK WALL, INTERIOR ROOMS, COFFERS, RESTROOMS, SECOND FLOOR MEZZANINE AND PROVIDE NEW TRASH ENCLOSURE.

SITE DATA

ZONING	CD3
GENERAL PLAN	GENERAL COMMERCIAL (30 FAR)
FEMA MAP ZONE	AREA III MINIMAL FLOOD HAZARD
SITE AREA	41,504 SF. (0.95 AC.)
EXISTING BUILDING	6,040 SF. 14.97%
EXISTING PAVING	28,828 SF. 69.50%
EXISTING LANDSCAPE	1,680 SF. 4.03%
PROPOSED BUILDING	(RT) 511 SF. 1.23%
COVERED TUNNEL	5,000 SF. 12.05%
COVERED PATIO	549 SF. 1.32%
PROPOSED PAVING	32,848 SF. 79.13%
PROPOSED LANDSCAPING	2,750 SF. 6.63%
REQUIRED PARKING	8 SPACES
1 SPACE / 1,200 SF.	
2,000 / 1,200 / 1	
PROVIDED PARKING	+35 SPACES
FULL SIZE SPACE	+1 SPACES (EXISTING)
ACCESSIBLE SPACE	+56 SPACES
TOTAL	

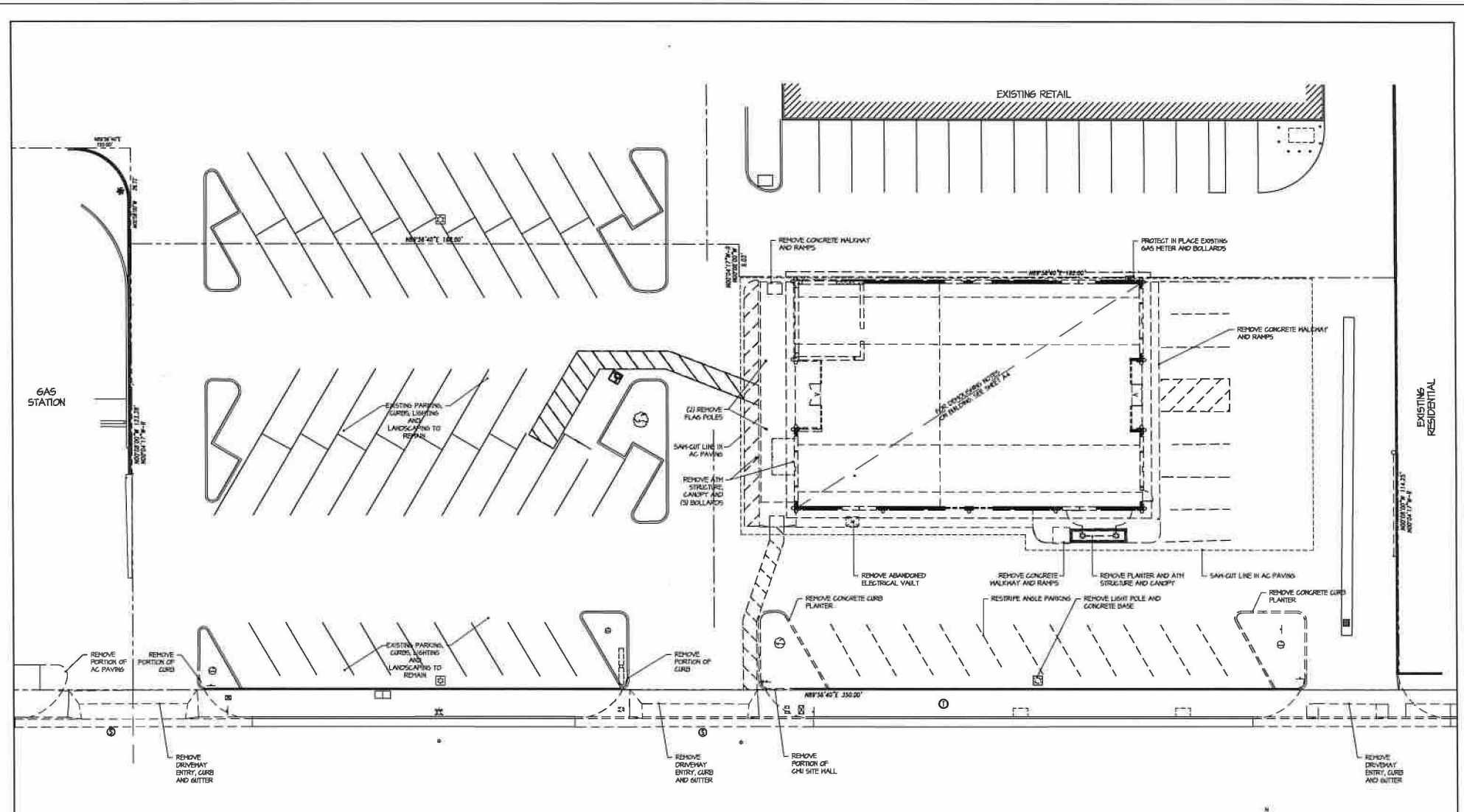
RESIDENTIAL



PROJECT ADDRESS:	5821 EAST LOS ANGELES AVE.
	SIMI VALLEY, CALIFORNIA
PROPERTY OWNER:	AVANTI Development Partners
OWNER ADDRESS:	3386 AVENIDA NIEVE
	CARLSBAD, CA. 92009
OWNER PHONE #:	(760) 271-8977
PROJECT NO.:	650-0-270-120
REVISIONS:	

RASMUSSEN & ASSOCIATES
Architecture
Planning
Interiors

21 S. CALIFORNIA STREET
VENTURA, CA 93001
PHONE: (805) 500-3875
CONTACT: SCOTT RASMUSSEN
SRASMUSSEN@RAA-CO.COM



DEMOLITION SITE PLAN
SCALE 1" = 10'-0"



RETAIL REMODEL
5821 EAST LOS ANGELES AVENUE, SIMI VALLEY, CALIFORNIA

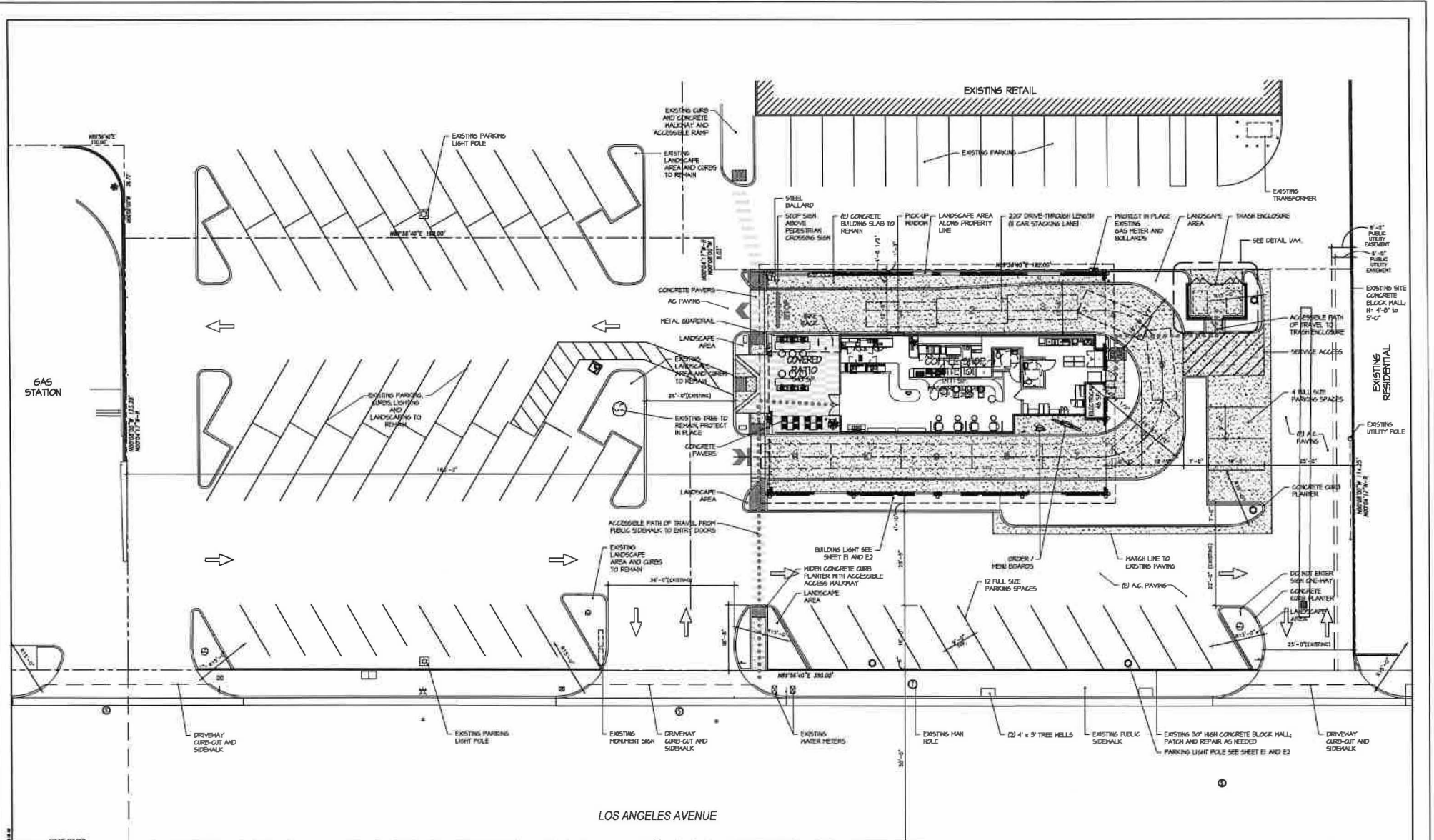
DECEMBER 09, 2020

PROJECT ADDRESS:	5821 EAST LOS ANGELES AVE. SIMI VALLEY, CALIFORNIA
PROPERTY OWNER:	AVANTI Development Partners
OWNER ADDRESS:	3386 AVENIDA NIEVE CARLSBAD, CA. 92009
OWNER PHONE:	(760) 271-8977
PROPERTY AGENCY:	650-0-270-120
REVISIONS:	

RASMUSSEN & ASSOCIATES
Architecture
Planning
Interiors

31 S. CALIFORNIA STREET
VENTURA, CA 93023
VOICE (805) 325-3878
CONTACT: SCOTT BOHNSLUM
SBOHNSLUM@RAA.CO





1 PROPOSED SITE PLAN
SCALE 1/8"=1'-0"

DECEMBER 09, 2020

RETAIL REMODEL
5821 EAST LOS ANGELES AVENUE, SIMI VALLEY, CALIFORNIA

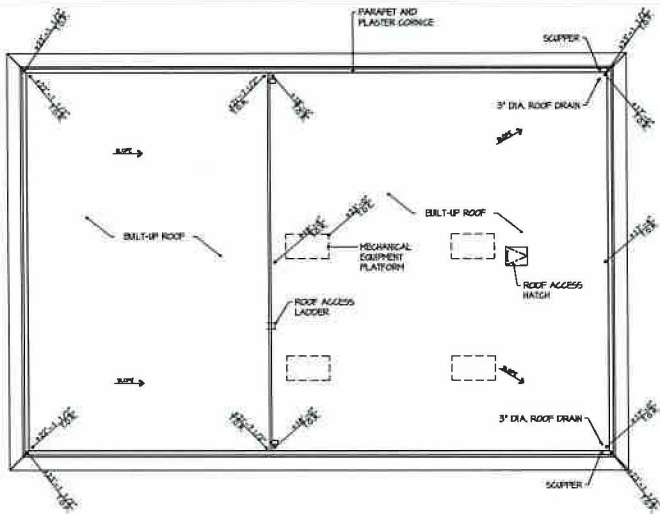
PROJECT ADDRESS:	5821 EAST LOS ANGELES AVE. SIMI VALLEY, CALIFORNIA
PROPERTY OWNER:	AVANTI Development Partners
OWNER ADDRESS:	3386 AVENIDA NIEVE CARLSBAD, CA, 92009
OWNER PHONE #:	(760) 271-8977
PROPERTY PHONE #:	650-0-270-120
REVISIONS:	

RASMUSSEN & ASSOCIATES
Architects
Planners
Interior

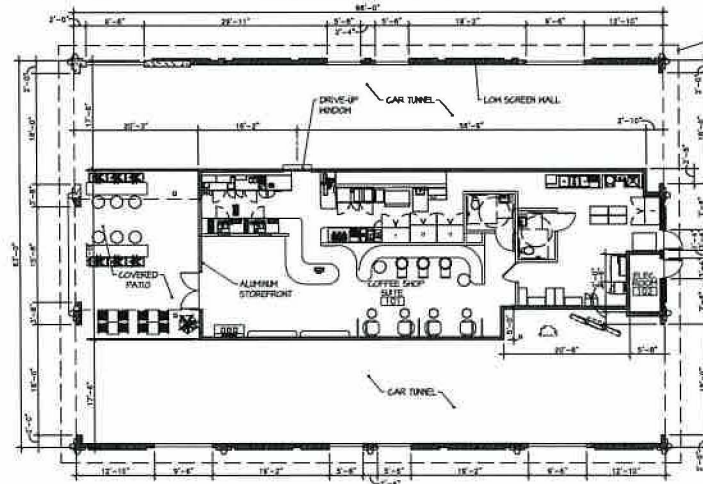
31 S. CALIFORNIA STREET
MOUNTAIN VIEW, CA 94031
PHONE: (925) 320-2070
CONTACT: SCOTT RASMUSSEN
38594400@raa-arch.com



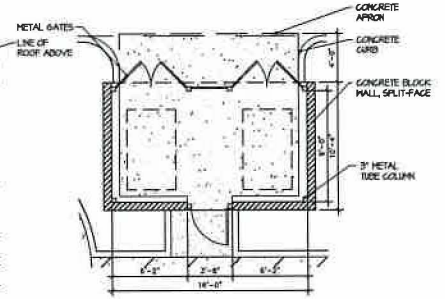
A3



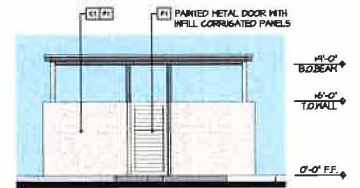
ABBREVIATION
 T.O.P. TOP OF PARAPET
 T.G.R. TOP OF ROOF



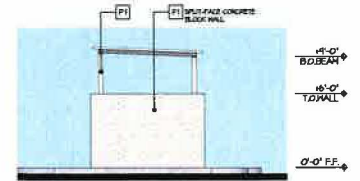
HATCH LEGEND
 [Pattern] DOWELBUSH WALL
 [Pattern] EXISTING STUD WALL WITH PLASTER OR GYP. BS.
 [Pattern] EXISTING MASONRY WALL
 [Pattern] EXISTING CONCRETE WALL
 [Pattern] METAL STUD WALL
 [Pattern] MASONRY WALL TO MATCH EXISTING



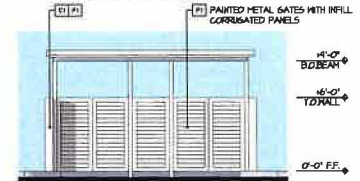
FLOOR PLAN



SOUTH ELEVATION



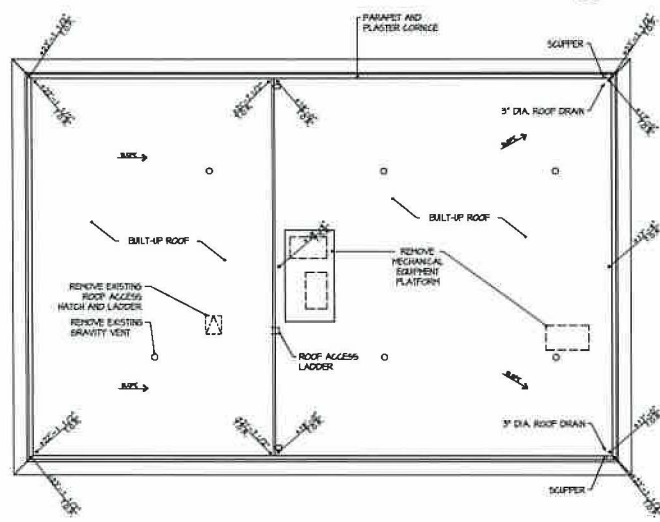
EAST ELEVATION (WEST SIDE)



NORTH ELEVATION

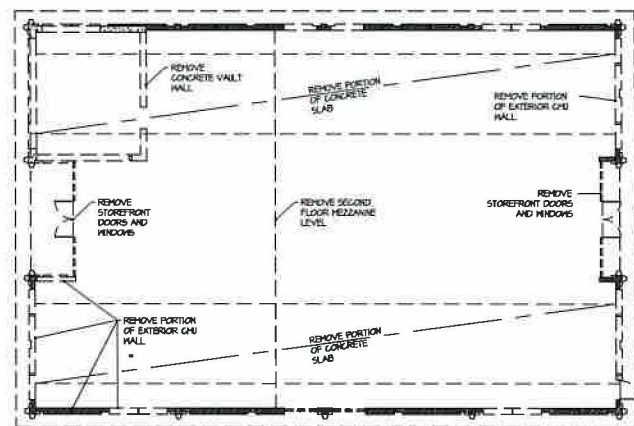
COLOR AND MATERIALS LEGEND
 [P1] PAINTED EXTERIOR CONCRETE TRASH ENCLOSURE WALL, DOORS AND ROOF STRUCTURE. CMH-8545WMS, BASE CMH, COH 10H
 [P2] PAINTED CONCRETE BLOCK WALL, SPLIT-FACE AND SPLIT-FACE ANGLE BLOCK. CMH, CMH-8545WMS CONCRETE BLOCK

PROPOSED ROOF PLAN
 SCALE 1/4" = 1'-0"



DEMOLISHING ROOF PLAN
 SCALE 1/4" = 1'-0"

PROPOSED FLOOR PLAN
 SCALE 1/4" = 1'-0"



DEMOLISHING NOTE
 DEMOLISH INTERIOR WALLS, FLOORING, CEILING, ELECTRICAL, MECHANICAL, BANK WELT, STAIRS, SECOND FLOOR MEZZANINE LEVEL, STOREFRONT, PORTIONS OF EXTERIOR WALLS AND EXTERIOR WALL/ROOF INSULATED LIGHTING.

DEMOLISHING FLOOR PLAN
 SCALE 1/4" = 1'-0"

RETAIL REMODEL

5821 EAST LOS ANGELES AVENUE, SIMI VALLEY, CALIFORNIA

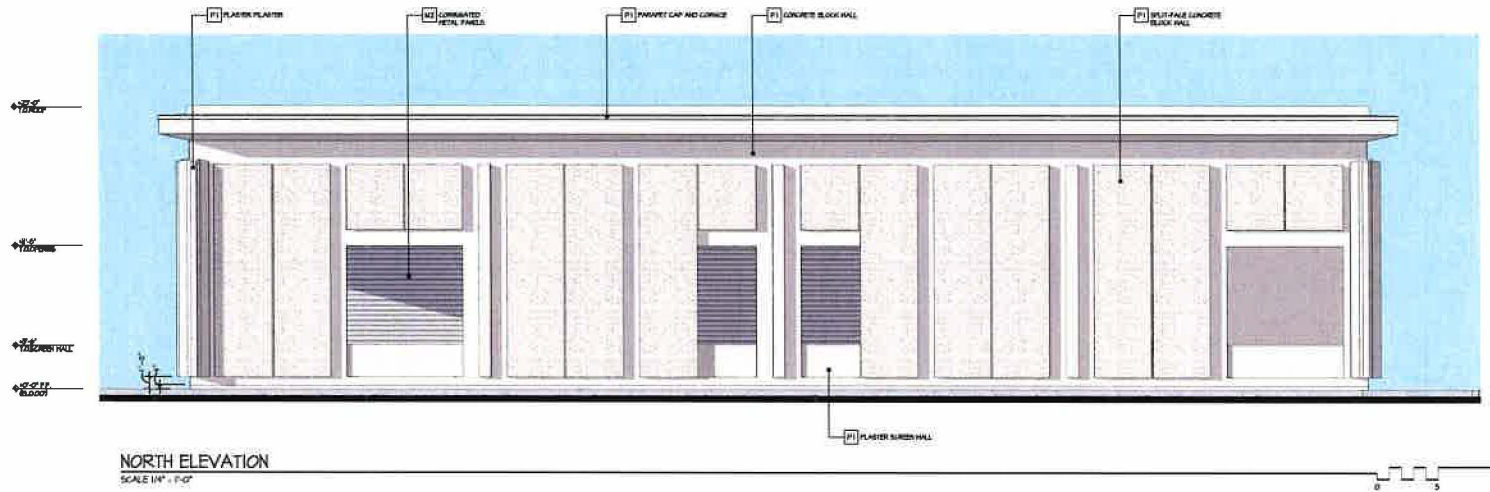
DECEMBER 04, 2020

1 TRASH ENCLOSURE
 SCALE 1/4" = 1'-0"

PROJECT ADDRESS:	5821 EAST LOS ANGELES AVE. SIMI VALLEY, CALIFORNIA
PROPERTY OWNER:	AVANTI Development Partners
OWNER ADDRESS:	3386 AVENIDA NIEVE CARLSBAD, CA, 92009
OWNER PHONE #:	(760) 271-8977
PROPERTY PHONE #:	650-0-270-120
REVISIONS:	

RASMUSSEN & ASSOCIATES
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 Planning
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31 S. CALIFORNIA STREET
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 VOICE: (818) 330-3878
 CONTACT: BECKY BOYDSTON
 BR@RASMUSSEN-ARCH.COM



NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

COLOR AND MATERIALS LEGEND

- PAINTED EXTERIOR PLASTER WALL AND PANELS, BRUSH SAID FLAT FINISH
- CONCRETE BLOCK WALL, TRUSS ENCLOSED HALL, DOORS AND ROOF STRUCTURE PANELS CORNICE AND LEAN SIDING WALL
- CORRUGATED METAL PANELS, BRUSH SAID FLAT FINISH
- PAINTED CONCRETE BLOCK WALL, DOORS AND SPILL-PAGE
- ALUMINUM STOREFRONT FRAMES AND DOORS
- ALUMINUM CORRUGATED PANELS
- CORRUGATED METALS, BRUSH SAID FLAT FINISH
- ALUMINUM STOREFRONT FRAMES AND DOORS
- ALUMINUM TO MATCH EXISTING COLOR AND FINISH
- ALUMINUM STOREFRONT FRAMES AND DOORS
- ALUMINUM TO MATCH EXISTING COLOR AND FINISH
- ALUMINUM STOREFRONT FRAMES AND DOORS
- ALUMINUM TO MATCH EXISTING COLOR AND FINISH
- ALUMINUM STOREFRONT FRAMES AND DOORS
- ALUMINUM TO MATCH EXISTING COLOR AND FINISH

PROJECT ADDRESS:	5821 EAST LOS ANGELES AVE.
PROJECT OVERSIGHT:	SIMI VALLEY, CALIFORNIA
OWNER ADDRESS:	AVANTI Development Partners 3386 AVENIDA NIEVE CARLSBAD, CA. 92009
OWNER PHONE #:	(760) 271-8977
PROPERTY PHONE #:	650-0-270-120
REVISIONS:	

RASMUSSEN & ASSOCIATES
ARCHITECTURE
PLANNING
INTERIORS

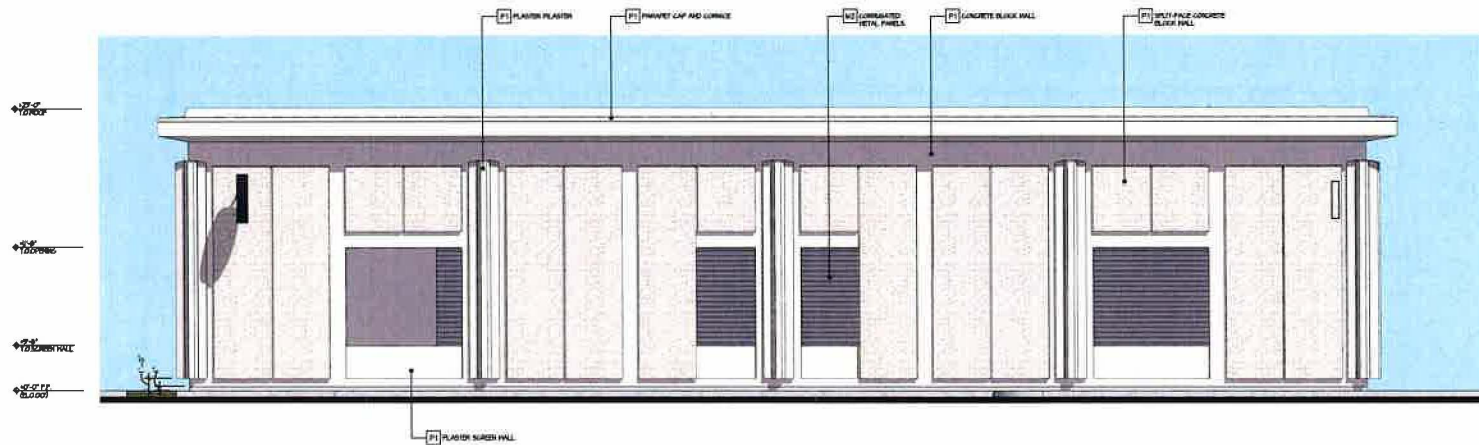
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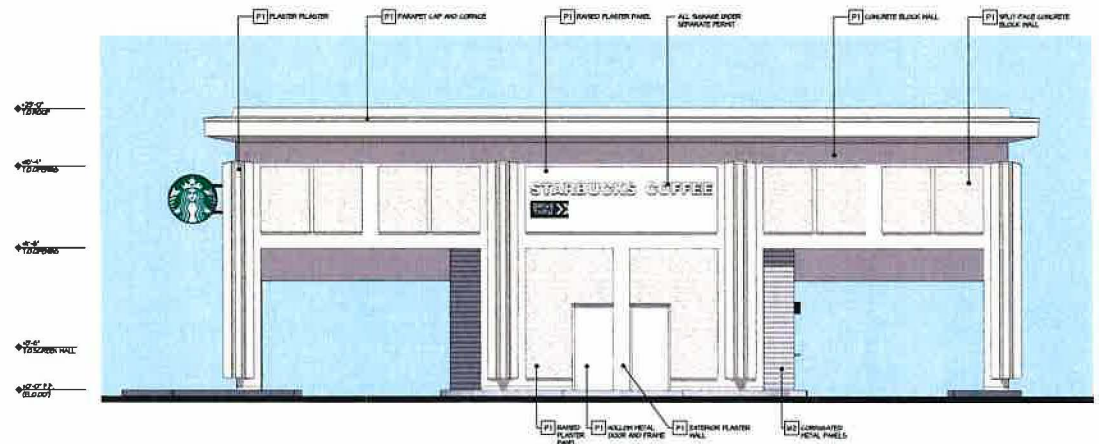
RETAIL REMODEL

5821 EAST LOS ANGELES AVENUE, SIMI VALLEY, CALIFORNIA

DECEMBER 04, 2020



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

COLOR AND MATERIALS LEGEND

- [P1] PAINTED EXTERIOR PLASTER PANEL AND PANELS, SOLID SAND FLOAT FINISH
- [P2] CONCRETE BLOCK WALL, HEAVY INSULATION PANEL, DOORS AND BEEP
- [P3] SYNTHETIC PAINTED CONCRETE AND LIGHT SCREEN WALL OVER-COMMON, BEST GLASS, LOW EMI
- [C1] PAINTED CONCRETE BLOCK WALL, SMOOTH AND MULTIFACE
- [C2] ANGELUS BLOCK CO. INC. MATCH EXISTING CONCRETE BLOCK
- [M1] ALUMINUM STOREFRONT WINDOWS AND DOORS
- [M2] ANODIZED TO MATCH EXISTING COLORS AND FINISH
- [M3] ALUMINUM CORRUGATED PANELS
- [M4] CORRUGATED METALS, 1/2" BxH K12 SILVER
- [G1] STORMING GLASS
- [G2] PPG GLASS CLEAR

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OWNER PHONE #:	(760) 271-8977
PROPERTY #:	650-0-270-120
REVISIONS:	



RETAIL REMODEL

5821 EAST LOS ANGELES AVENUE, SIMI VALLEY, CALIFORNIA

DECEMBER 04, 2020

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A6



LOS ANGELES AVENUE STREET PERSPECTIVE



EAST SIDE PERSPECTIVE (PARKING LOT SIDE)



TUNNEL ENTRY PERSPECTIVE

RETAIL REMODEL

5821 EAST LOS ANGELES AVENUE, SIMI VALLEY, CALIFORNIA

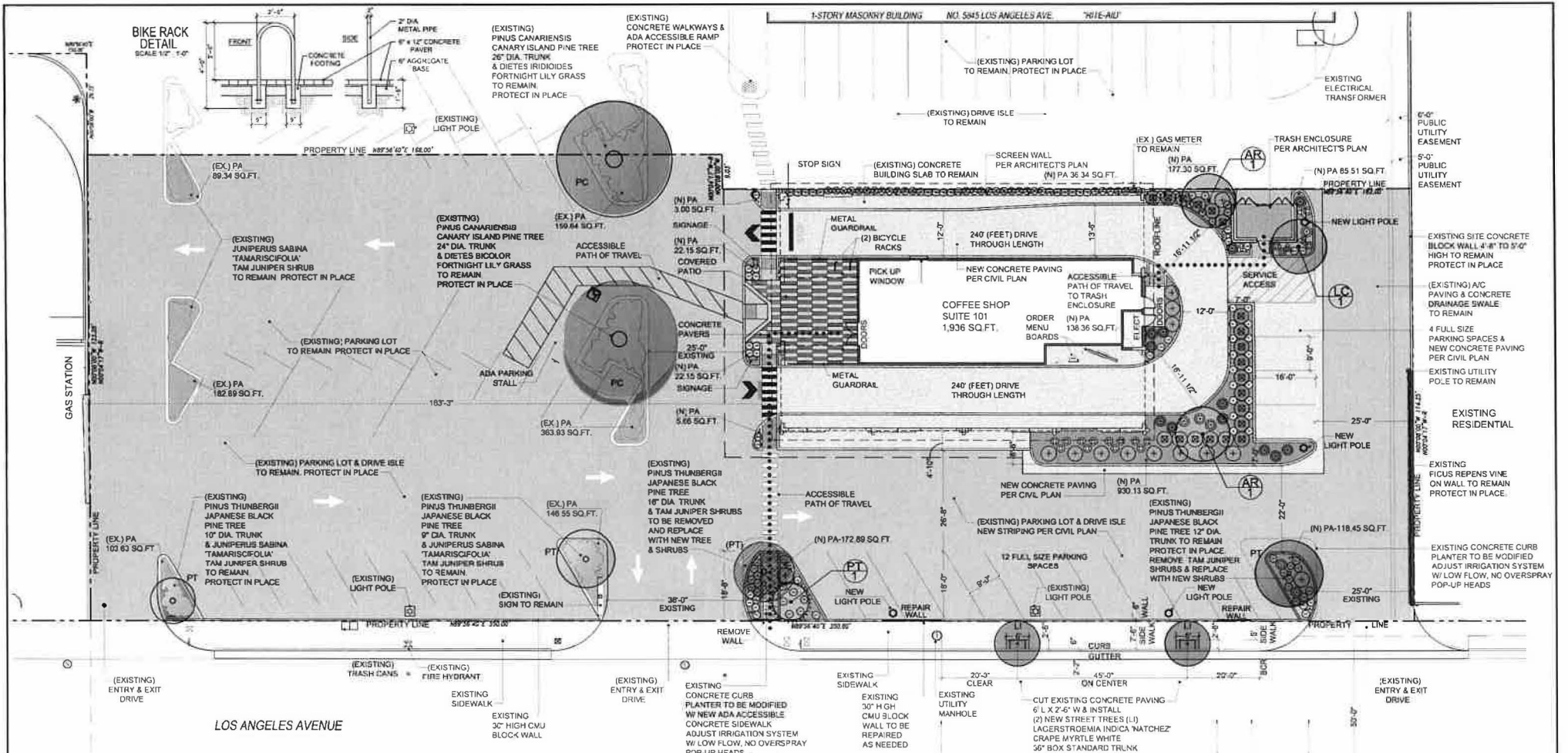
DECEMBER 04, 2020

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REVISIONS:	



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LOS ANGELES AVENUE

SYMBOL	BOTANICAL NAME	COMMON NAME	BOX SIZE	PLANT SIZE @ INSTALL	PLANT SIZE @ MATURITY	QTY	WUCOLS REG #1
AR	ARBOVITIS UNEDIO MARAKI	STRAWBERRY TREE	30" STANDARD	8" H X 3" W	20" H X 10" W	2	M
LC	LOPHOSTEMON COERCIVENS	BRISBANE BOX TREE	30" STANDARD	12" H X 2" W	30" H X 30" W	1	M
PT	PINUS THUNBERGII	JAPANESE BLACK PINE	24" STANDARD	8" H X 4" W	30" H X 20" W	1	M

SYMBOL	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	PLANT SIZE @ INSTALL	PLANT SIZE @ MATURITY	QTY	WUCOLS REG #1
AEONIU	AEONIU	BLACK ROSE Aeonium	5g	1.5" H X 1" W	2.5" H X 2" W	16	L
AGAVE	AGAVE	FOXTAIL AGAVE	1g	1" H X 1" W	2" H X 2.5" W	10	L
ACAPANTHUS	ACAPANTHUS	BLUE STORM ORIENTALIS ATROU	1g	1" H X 1" W	2" H X 2" W	70	M
BOUQUINVILLEA	BOUQUINVILLEA	BOUQUINVILLEA CO-LA-LA	5g	1" H X 1.5" W	2" H X 2" W	34	L
FESTUCA	FESTUCA	ELIJAH BLUE FESTUCA	1g	2" H X 3" W	1" H X 1" W	56	M
LIQUIDETUM	LIQUIDETUM	TEXAS PRIVET	15g	8" H X 3" W	8" H X 3" W	20	M

- PLANTING LEGEND**
- TREES (EXISTING)**
- PC (1) TWO PINUS CANARIENSIS CANARY ISLAND PINE TREES TO REMAIN, PROTECT IN PLACE
 - PT (1) ONE PINUS THUNBERGII JAPANESE BLACK PINE TREE TO REMAIN, PROTECT IN PLACE
- SHRUBS (EXISTING)**
- JUNIPERUS SABINA TAMARISCIFOLIA TAM JUNIPER PRUNE DEAD WOOD AS NECESSARY
 - DIETES BICOLOR FORTNIGHT LILY TO REMAIN, PROTECT IN PLACE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE (CALCULATED)	QTY	WUCOLS REG #1
△	3 CANNONIA CAPRICORNATA	TANGIERINE BEAUTY	15"	4	L

- NOTES:**
- STREET TREES, PLANT MATERIAL AND IRRIGATION SYSTEM WITHIN THE PUBLIC RIGHT OF WAY ARE TO BE MAINTAINED BY THE DEVELOPER/OWNER IN PERPETUITY AND PER SIMI VALLEY MUNICIPAL CODE MAINTENANCE STANDARDS
 - "THIS PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE CITY OF SIMI VALLEY MUNICIPAL CODE AND STATE WATER EFFICIENT LANDSCAPE ORDINANCES"
 - ALL NEW AND/OR MODIFIED LANDSCAPE PLANTER AREAS SHALL BE WATERED BY MEANS OF AN AUTOMATIC CONTROLLED IRRIGATION SYSTEM. ALL POP UP SPRAY HEADS AND 1" ON DRAIN TUBING SHALL BE LOW WATER FLOW RATE TYPE. NO OVER SPRAY ON ANY HARDCAPE SURFACES SHALL BE PERMITTED
 - TREE TRUNK DIAMETER LISTED FOR EACH TREE IS MEASURED AT 4'-6" FOUR FEET ABOVE THE ROOT COCK

LEGEND PA = PLANTER AREA

PLANT ID QUANTITY

SITE AREA LANDSCAPE (EXISTING) - 1046 SQ FT
PROPOSED - 1123 SQ FT
TOTAL = 2169 SQ FT

PLANT WATER USE PERCENTAGE
 LOW WATER USE = 24%
 MEDIUM WATER USE = 76%
 HIGH WATER USE = 0%

DATE:	12-10-20
CHECKED:	12-10-20
APPV:	

DIG ALERT

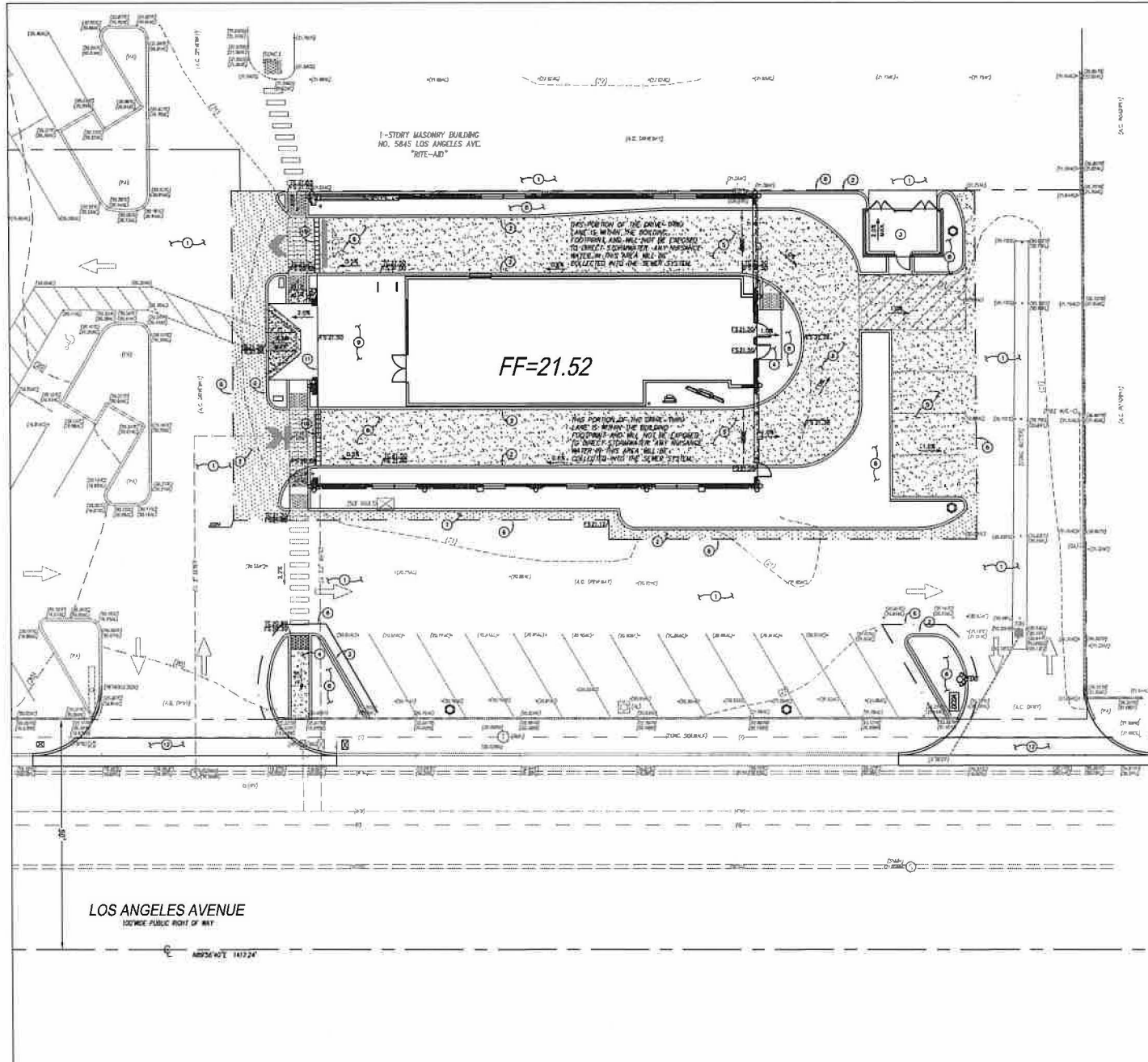
STARBUCKS
 5821 EAST LOS ANGELES AVENUE
 SIMI VALLEY, CA 93063

RMA INTERNATIONAL LANDSCAPE ARCHITECTURE & PLANNING
 3153 RD STREET SUITE N
 HUNTINGTON BEACH, CA 92648
 P (562) 618-9119
 EMAIL: rma@landscapepa.com

LANDSCAPE SITE PLAN

PROJECT ADDRESS: 5821 EAST LOS ANGELES AVE. SIMI VALLEY, CALIFORNIA
 PROPERTY OWNER: AVANTI Development Partners
 OWNER ADDRESS: 3386 AVENIDA NIEVE CARLSBAD, CA 92009
 PHONE #: (760) 271-8977
 PROJECT #: 650-0-270-120

DATE: 12-10-20
 SHEET: L-1



DATE: 10/20/2024
DRAWING IS THE RECORD
DATE: 10/20/2024

PREPARED BY: CMB
NO. DATE: 10/20/2024

FABRIC BY: _____



PRELIMINARY
GRADING &
DRAINAGE PLAN